

Memo from the desk of the zoning administrator

To: Planning Commission

Date: August 16

Re: August 20 Meeting Notes

TXT 1710 - We begin with our text amendment for occupancy above 3 unrelated. This is intended for rentals where they are occupied by unrelated persons and not a family. While families can have unlimited numbers, they behave as a unit. Possibly two cars, rarely one for each person in the family. We have had a definition of rooming dwelling in our ordinance without any use of the term outside the definitions. That contemplates a family plus 2 additional renters. What this amendment intends is for a fixed number of persons in each unit. This will be a special use permit and we can examine each location on it's own merits. In any case, the until could still be rented to one family without a special use permit. Where the occasional family wants to stay in their home and rent out a bedroom or two, that will now also be a special use permit. I included a definition and use for a boarding dwelling, which is mentioned in our rental ordinance. This has been reviewed and edited by our legal counsel. I suggest we recommend approval to the board.

SPR 1716 – MMCC Technical Center. This has been reviewed by Fire Dept, and the letter should be done by the meeting. The Storm Plan letter should indicate the existing has been sized to accommodate this building. It is not connected to the main building. I recommend approval based on compliance with Storm water approval, and MPFD requirements. If you recall the driveway was relocated on the last plan review we did for the third phase of the main building. Sidewalks have already been installed for other buildings.

SPR 1717 – This is for a hanger at the Mt Pleasant Airport. While the city has control over the airport, it is only the Control Tower building that a municipal building, the

hangers are leased and approved by the taxing unit, Union Township. The plan meets our setbacks and building requirements, MPFD letter is forthcoming and will control the fire rating of the construction of the hanger and if any additional hydrants are required. I also suggest we waive sidewalk requirements at this location. The road commission review will also control the proposed driveway. Approve contingent on ICRC, MPFD and Storm Plan approvals

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CHARTER TOWNSHIP OF UNION

Planning Commission Regular Meeting Agenda

Date: August 20, 2013

Time: 7:00 p.m.

Place: Union Township Hall

Pledge of Allegiance

Roll Call

Minutes of August 6 special meeting

Correspondence

Approval of Agenda

Public Comment: restricted to three (3) minutes regarding issues not on this agenda

UNFINISHED BUSINESS

1.) TXT 1710 – Text Amendment, present proposed ordinance for occupancy of up to five unrelated by Special Use Permit

NEW BUSINESS

- 1.) SPR 1716 Mid Michigan Community College, 5850 E Broadway Rd. Site Plan Review for Technical Center
- 2.) SPR 1717 Site Plan Review for Airplane Hanger at Mt Pleasant Airport, 1105 S Isabella Rd, for Pat Garmin

Other Business

Extended Public Comment

Adjournment

CHARTER TOWNSHIP OF UNION

Planning Commission Special Meeting

A special meeting of the Charter Township of Union Planning Commission was held on August 6, 2013.

Meeting was called to order at 7:00 p.m.

Roll Call

Fuller, Henley, Primeau, McGuirk, Squattrito and Wagner were present. Mielke, Shingles, and Jankens were excused.

Others Present

Woody Woodruff, Margie Henry

Approval of Minutes

July 16, 2013 – regular meeting minutes

Change under Roll Call Shingles present not excused absent

Primeau moved **Wagner** supported to approve the July 16, 2013 meeting minutes as amended. **Ayes: all. Motion carried.**

Correspondence

No correspondence were offered

Approval of Agenda

McGuirk moved Henley supported to approve the agenda. Ayes: all. Motion carried.

Public Comment

No comments were offered

NEW BUSINESS

1.) PPR – 1709: Preliminary review of Bamber Office Park Site Condominium. Owner: H&M Investment Properties LLC

Tim Beebe explained the Bamber office park site to the Board. Woody Woodruff presented map layouts of the Bamber office park site. **Woodruff** pointed out corrections that are needed for the Final Plan: setbacks for units 6,9, 11, 12; 10' Sidewalk Easement on all units; no units to have access from Pickard Rd, unit 1 access at north end; Include any berms, screening or storm water easements outside boundaries to be show with Liber and Page. **Fuller** moved **McGuirk** supported to approve the preliminary review of Bamber office park site and send to the Board of Trustees for approval **Ayes: all. Motion carried.**

OTHER BUSINESS

1.) Woody Woodruff informed the board that a notice for a public hearing on the Rental Ordinance had been published.

Extended Public Comment

No comments were offered

Adjournment

The Chair adjourned the meeting at 7:50 p.m.					
APPROVED BY:					
(Recorded by Peter Gallinat)	Alex Fuller, Secretary				
(necoraca by Feler Gallinar)					

ADD THE FOLLOWING

- 3.23.E Dwelling, Boarding means a Rooming Dwelling without a common cooking facility for tenants, but where meals are provided by the proprietor of the Boarding Dwelling.
- 13.2. I.19 Rooming or Boarding Dwelling, Single Unit. See Section 30.4.AE
- 14.2.F.5 Rooming or Boarding Dwelling, Single Unit. See Section 30.4.AE
- 15.2.E.5 Rooming Dwelling, One or Two Unit. See Section 30.4.AE
- 16.2.E.5 Rooming Dwelling, One or Two Unit. See Section 30.4.AE
- 30.4.AE <u>Rooming Dwellings and Boarding Dwellings.</u> Rooming Dwellings or Boarding Dwellings for up to five occupants, regardless of familial status, or a single family plus two additional occupants may be permitted by Special Use. The two additional occupants may be related or unrelated to each other.

Applications for a Rooming Dwelling or Boarding Dwelling are reviewed by the Planning Commission with a public hearing and approved by the Township Board. The Township Board may approve occupancies of up to four unrelated persons in a Rooming Dwelling where conditions do not warrant five occupants. In all cases, the following conditions shall be met:

- A) Parking: 4 parking spaces per unit shall be provided and designed such that no space is blocked by another vehicle, or otherwise require a vehicle to be moved to use the parking space. Additional parking spaces beyond 4 per unit may be created which require a vehicle to be moved to utilize the parking space. Parking spaces shall be constructed of gravel, asphalt, concrete or other durable hard surface and connected by similar hard surfaces to the driveway or entrance to the property. Where a garage is provided and counted as a parking space, it shall remain available for parking at all times. More than one parking area may be utilized to fulfill these requirements.
- B) Bedrooms and bathrooms: A minimum of 3 bedrooms and one bathroom (toilet and bathing) per unit shall be provided. Bedrooms shall be a minimum 70 SF for a single occupant, and 100 SF for each additional occupant in the bedroom. When approved for five occupants, each unit so approved shall provide a minimum of one bathroom and a half bathroom (toilet only).
- C) Open Spaces: No Rooming Dwelling or Boarding Dwelling shall be approved on a lot with less than the required lot area.
- D) Common Entrance(s): All occupants of a Rooming Dwelling or Boarding Dwelling shall enter or exit the structure through one or more common entrances. Any entrance to the residence which creates a separate or exclusive living area, with or without sanitary or cooking facilities, shall be deemed to be an additional unit. One Unit Rooming Dwellings located in an R2 zoning district may convert the structure to a two unit Rooming Dwelling after an approved Special Use Permit for a Two Unit Rooming Dwelling has been issued. Three unit dwellings are not permitted in any R1 or R2 zone.
- E) Revocation of Special Use Permit. The following may cause the Special Use Permit to be revoked after a Show Cause Hearing by the Planning Commission; failure to maintain the conditions placed on the special use contained in the approval, or failure to comply with the Union Township Rental Housing Code. The residence maybe occupied by no more than one single family per unit if the special use is revoked.

Cable Communications Consortium is able, energetic, and team-oriented c Access team as the Operations and . The Operations and Administrative der the supervision of the MMACCC; the daily operations of the MMACCC, ier employees at worksites, serve as C Board and appropriate governmental legal counsel, service users, service nistrative functions of the organization, rt to the MMACCC Board. For a composition go to the Consortium's website org. Please submit your resume, cover this Kim Smith, MMACCC Chair, at 2010 Pleasant Michigan, Mt. Pleasant MI, on Deadline is August 9, 2013. Opportunity Employer



ORIAL SPECIALIST

ovides administrative and technical suppook review editor of The Michigan Hist: Bachelor's degree in English, History, eld. 1 year experience. For a complete and to apply on-line please visit

JUTIVE SECRETARY

vative Teaching. This will focus on comtarial/administrative support functions to to; preparing communications, maintain-scheduling meetings, conferences, exitive work experience. For a complete list to apply on-line by Friday, 8/11/2013, mich.edu.

R SPECIALIST CLERK

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1000 Announcements

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8/4/13

UNION TOWNSHIP PUBLIC HEARING NOTICE ZONING TEXT AMENDMENT

NOTICE is hereby given that a Public Hearing will be held on Tuesday, August 20, 2013, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following Zoning Ordinance text amendment:

ADD THE FOLLOWING

3.23.E Dwelling, Boarding means a Rooming Dwelling without a common cooking facility for tenants, but where meals are provided by the proprietor of the Boarding Dwelling.

13.2.I.19 Rooming or Boarding Dwelling, Single Unit. See Section 30.4.AE

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Any interested person may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Please contact the zoning administrator to make arraignments for accessibility and impairment concerns. Phone (989) 772 4600 extension 241.

William Woodruff Zoning Administrator

FILL OUT THE FOLLOWING

I.	This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
II.	Applicant Name Rowe Professional Services Company
ш.	Applicant Address 127 S. Main St., Mt. Pleasant, MI 48858
IV.	Applicant Phone 989-772-2138 Owner
V.	Applicant is (circle) Contractor (Architect/Engineer) Developer Land Owner(skip 5& 6) Other
VI.	Land Owner Name Mid Michigan Community College Land Owner Address 2600 5. Summerton Rd., Mt. Pleasant, MI
VII.	Land Owner Address 2600 S. Summerton Rd., Mt. Pleasant, MI
VIII.	Project/Business Name MMCC - New Tech Center
IX.	Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area (for example, under sidewalks write "none" in the comment area if you are not installing any sidewalks). For the first three items, check off if you have made the required submittals to other reviewing agencies.

P = Pending SUBMITTALS TO OTHER AGENCIES Off Copy of Union Township Storm Water Management Plan Storm water management plan approval prior to available upon request. Submit (2) copies of plan and application. Reviewed by the County Engineer calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional. MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact All curb cuts, acceleration/deceleration lanes. Isabella County Road Commission (all other county roads) additional drives, and other matters pertaining to at (989) 773 7131. Submit (3) copies. roads to be approved by MDOT or Isabella County Road Commission prior to application. Mt. Pleasant Fire Dept. Ð Sgt Rick Beltnick (989) 779-5122, (2) copies Isabella Co Transportation Commission (ICTC) Denny Adams (989) 773 2913 Ext 106, (2) copies SITE PLAN REQUIREMENTS Comments - (also indicate any features which will not be included in the development or are not applicable) Off Name and addresses of Property Owner OK Name and Address of Applicant Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided) The date, north arrow and scale. The scale shall be OK not less than 1"=20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.

All lot and/or property lines are to be shown and dimensioned, including building setback lines	/	06
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) drives,	NAMA ANA	or or oh war or
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	66
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	V	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department (773 5921)
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	1	ê ~
The location and right-of-way width of all abutting roads, streets, alleys and easements.		ô -
A locational sketch drawn to scale giving the section number and the nearest crossroads.		04
The zoning of the subject property and the abutting properties.	~	OK-8\$
The location, height and type of fences and walls.	<u> </u>	8/C

The location and detailed description of landscaping.	V					
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	~					
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	1					
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	NA					
COMN	MENTS					
I submit the site plan and this application as a true repagree to install all features as shown and to abide by a Union Township Planning Commission. False or inacause for revocation of any permits issued pursuant to installed. Any changes to the Site Plan now or in the Planning Commission or Zoning Administrator. Applyiolate any provisions of the Union Township Zoning state codes and or laws.	conditi accurato site p future proval	tons placed upon approval of this plan by the te information placed upon this plan may be plan approval and / or removal of work must be approved by the Union Township of this plan shall not constitute the right to				
Diane lewan						
Signature of Applicant State of Applicant		Date 8-1-13				
Signature of Owner (if other than applicant)		Date				
PLEASE PLACE OUR REVIEW ON THE 8-20-13 (INSERT DATE) PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.						

Township use File #_1714 Fee Paid initial_WW	Comments hope D	Lettern	
Receipt #			
Date received	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
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Planning Commission Decision			
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MEMO

DATE: August16, 2013

TO: Woody Woodruff

Union Township Zoning Administrator

FROM: Dennis M. Adams

ICTC Director of Marketing and Public Relations

RE: MMCC Mt Pleasant Tech Center

After review of the site plans for the Mid Michigan Community College new Tech Center building project, ICTC finds no issues that would change our provision of public transit services to MMCC.

With the completion of the new classroom building at MMCC, Mt. Pleasant, all bus service will originate and drop passengers at a shelter location off Broadway, before Summerton, near the northwest corner of this new building. Therefore ICTC has no issues with this newest building. However, the new Tech Center plans do not, at this time, have an accessible drive for a public transit vehicle should there come a time when more direct services are required.

BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

UNDERGROUND UTILITY IDENTIFICATION AND LOCATION

THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

VERIFICATION OF UNDERGROUND UTILITIES

THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE ENGINEER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

UTILITY SERVICE

UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

MAILBOXES LOCATED WITHIN THE LIMITS OF EXCAVATION, GRADING, OR CONSTRUCTION SHALL BE REMOVED AND PROTECTED FROM DAMAGE BY THE CONTRACTOR. TEMPORARY MAILBOXES SHALL BE PROVIDED AND MAINTAINED DURING THE PROJECT. UPON COMPLETION OF GRADING OR CONSTRUCTION ACTIVITIES, THE ORIGINAL MAILBOX SHALL BE REINSTALLED.

MAILBOXES (AND/OR SUPPORTS) WHICH ARE DAMAGED AS A RESULT OF THE PROJECT SHALL BE REPLACED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE. MAILBOXES SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS OF THE U.S. POSTAL SERVICE AND THE REGULATIONS OF THE AGENCY HAVING JURISDICTION OVER THE ROADS AND STREETS IN THE PROJECT AREA.

PRIVATE IRRIGATION SYSTEMS

WHERE IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY WILL INTERFERE WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS THAT IT IS THEIR RESPONSIBILITY TO REMOVE AND PROTECT THEIR IRRIGATION SYSTEM. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF THE NOTIFICATION.

WHERE THE OWNER HAS NOT REMOVED THEIR PRIVATE IRRIGATION SYSTEM, THE CONTRACTOR SHALL CUT AND PLUG THOSE SECTIONS OF PIPING WHICH INTERFERE WITH CONSTRUCTION. SPRINKLER HEADS, VALVES, AND PIPING WHICH INTERFERES WITH THE CONTRACTOR'S WORK, SHALL BE REMOVED AND STOCKPILED ON THE OWNER'S PROPERTY.

SOIL BORINGS / PAVEMENT CORES

IF PROVIDED ON THE PLANS OR IN THE CONTRACT DOCUMENTS, LOGS OF SOIL BORINGS OR PAVEMENT CORES REPRESENT THE SUBSURFACE CONDITIONS ENCOUNTERED AT SPECIFIC POINTS. THE INFORMATION IS PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY.

MAINTAINING TRAFFIC

LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.

WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES IN ADVANCE.

THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

TRAFFIC SIGNS

TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

ALIGNMENT

ALIGNMENT AND GRADES FOR CURB AND GUTTER (INCLUDING THROUGH RAMPS AND DRIVEWAY OPENINGS) SHOWN ON THE PLANS ARE FOR THE TOP, BACK OF CURB, UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES LOCATED IN THE CURB LINE IS TO THE CENTER OF THE CASTING.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES WHICH ARE NOT IN THE

CURB LINE AND FOR MANHOLES IS TO THE CENTER OF THE STRUCTURE.

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR MANHOLE CASTINGS, THE ELEVATION PROVIDED IS FOR THE TOP OF THE CASTING.

WHERE RIM ELEVATIONS ARE PROVIDED FOR INLET TYPE CASTINGS, THE ELEVATIONS ARE PROVIDED AS

FOLLOWS: CURB INLETS - THE ELEVATION OF THE TOP OF CURB

• ALL OTHER INLETS - THE ELEVATION OF THE FLOW LINE

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR INLETS OR MANHOLE CASTINGS, THE ELEVATIONS PROVIDED ARE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL MAKE THE FINAL ADJUSTMENT FOLLOWING THE ESTABLISHMENT OF ACTUAL GRADING AND PAVEMENT ELEVATIONS.

CONSTRUCTION STAKING

CONSTRUCTION STAKING IS TO BE PROVIDED BY THE CONTRACTOR.

SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES: A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

PROTECTION OF TREES, SHRUBS, AND LANDSCAPING

ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION SIGNING AND BARRICADING

THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.

THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW

THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, FLAGGERS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT

TURF ESTABLISHMENT

ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.

TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE WATERING, WEEDING, RESEEDING, AND REWORKING AS NECESSARY TO ESTABLISH TURF AREAS TO THE REQUIRED STANDARD.

ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE GUIDELINES OR STANDARDS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET THE ADA REQUIREMENTS, GUIDELINES, OR STANDARDS: THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REPLACE WORK DETERMINED TO BE NOT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS, GUIDELINES, OR STANDARDS.

THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE EARTHWORK QUANTITIES, AND BASE HIS BID ON HIS DETERMINATION OF THE QUANTITIES OF WORK REQUIRED.

IF ADDITIONAL FILL MATERIAL MUST BE PROVIDED TO ATTAIN THE FINISH GRADES SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED FILL MATERIAL, UNLESS A SPECIFIC BORROW AREA IS IDENTIFIED ON THE PLANS.

EXCESS SOILS RESULTING FROM EXCAVATION AND EARTHWORK SHALL BECOME THE CONTRACTOR'S PROPERTY AND DISPOSED OF PROPERLY, UNLESS AN AREA(S) HAS BEEN DESIGNATED FOR STOCKPILING OR "BLENDING IN" THE EXCESS MATERIAL WITHIN THE PROJECT LIMITS.

BACKFILL AND EMBANKMENT

TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE, SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS III AS DESCRIBED IN THE 2003 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE ENGINEER, AND PROVIDE THE ENGINEER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF USING SAND FROM OTHER SOURCES.

EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS

FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS. EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES

EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES

TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

DENSITY TESTING

THE MAXIMUM UNIT WEIGHT OF SAND AND OTHER GRANULAR SOILS WILL BE DETERMINED BY THE ONE POINT CONE TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY CONTROL HANDBOOK, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

THE MAXIMUM UNIT WEIGHT OF COHESIVE SOILS WILL BE DETERMINED BY THE ONE POINT PROCTOR TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY CONTROL HANDBOOK, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

WORK HOURS

UNLESS PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS OR LIMITED BY LOCAL ORDINANCE, THE CONTRACTOR SHALL WORK WITHIN OF THE FOLLOWING TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER: MONDAY THROUGH FRIDAY 7 A.M. TO 8 P.M. SATURDAY 8 A.M. TO 6 P.M.

THE CONTRACTOR SHALL NOT WORK ON SUNDAYS OR HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE

ROAD PROJECTS

ADJUSTING STRUCTURES

WHERE CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, AND MONUMENT BOXES ARE TO BE ADJUSTED TO MEET A NEW PAVEMENT SURFACE ELEVATION, THE FINAL ADJUSTMENT SHALL NOT BE COMPLETED UNTIL ALL PAVEMENT COURSES HAVE BEEN PLACED EXCEPT THE FINAL COURSE. THE FINAL ADJUSTMENT SHALL BE COMPLETED JUST PRIOR TO PLACEMENT OF THE FINAL COURSE OF PAVEMENT.

THE MATERIALS AND PROCEDURES FOR ADJUSTING STRUCTURES SHALL MEET THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION OVER THE ROAD AND UTILITIES.

SUBGRADE PREPARATION

TOPSOIL, PEAT, AND ORGANIC MATERIAL SHALL BE EXCAVATED AND REMOVED.

SOFT AND YIELDING SOILS SHALL BE REMOVED OR DRIED IF THE RESULT OF EXCESSIVE MOISTURE CONTENT.

PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENT ON A SUBGRADE; THE SUBGRADE SHALL BE PROOF-ROLLED TO DETERMINE THE SUITABILITY OF THE SUBGRADE. THE CONTRACTOR SHALL DRIVE A HEAVY PIECE OF WHEELED CONSTRUCTION EQUIPMENT OVER THE SUBGRADE WHILE THE ENGINEER IS OBSERVING. THE CONSTRUCTION OF FILLS, SUBBASE, OR PAVEMENTS SHALL NOT PROCEED UNTIL THE SUBGRADE HAS BEEN DEMONSTRATED TO BE FREE OF SOFT AREAS.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE MOISTURE CONTENT OF SUBGRADE SOILS WITHIN A SUITABLE RANGE TO ALLOW FOR COMPACTION TO THE REQUIRED DENSITY. WHEN THE SOIL IS TOO DRY, THE CONTRACTOR SHALL ADD WATER. WHEN THE SOIL IS TOO WET, THE CONTRACTOR SHALL PROVIDE DRAINAGE OR AERATE THE SOIL.

THE SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT, PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENTS.

CURB AND GUTTERS

THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DIMENSIONS OF CURB OPENINGS FOR DRIVEWAYS, RAMPS, AND DRAINAGE STRUCTURES.

HOT MIX ASPHALT (HMA) PAVING

PAVEMENTS WHICH ARE TO BE OVERLAID WITH A NEW PAVEMENT COURSE SHALL BE SWEPT TO REMOVE ALL DIRT AND DEBRIS.

A BITUMINOUS BOND COAT SHALL BE APPLIED TO PAVEMENTS WHICH ARE TO BE OVERLAID WITH A NEW PAVEMENT COURSE AND ALLOWED TO CURE PRIOR TO CONSTRUCTING THE NEW PAVEMENT COURSE.

HMA PAVEMENT SHALL NOT BE PLACED WHEN THE SURFACE BEING OVERLAID IS WET, OR WHEN RAIN IS FORECAST OR THREATENING.

DRIVEWAY CONSTRUCTION

DRIVEWAY SLOPES SHALL NOT EXCEED 10%, EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE ON THE PLANS OR DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL PROVIDE PROPERTY OWNERS WITH SUITABLE NOTICE BEFORE REMOVING AND REPLACING AN EXISTING DRIVEWAY.

SIDEWALK CONSTRUCTION

SIDEWALKS SHALL BE CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE OF THE SIDEWALK AND ADJACENT SURFACES.

EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SURFACES. SIDEWALK SHALL BE CONSTRUCTED WITH A CROSS SLOPE SLOPED TOWARD THE STREET.

SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%.

IN TURF AREAS, THE SURFACE OF THE SIDEWALK SHALL BE ABOUT 1/4 INCH HIGHER THAN THE ADJACENT GROUND SURFACES, EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SIDEWALKS, CURBS, OR PAVEMENTS.

SIDEWALK SHALL BE CONSTRUCTED ON A SAND BASE, COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT

THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN SIDEWALK FORMS HAVE BEEN SET AND THE SAND BASE PREPARED. CONCRETE SHALL NOT BE PLACED UNTIL THE ENGINEER HAS OBSERVED THE FORMS. CONCRETE DELIVERY SHALL BE SCHEDULED TO ALLOW SUFFICIENT TIME FOR ADJUSTMENT OF THE FORMS, IN THE EVENT THAT ADJUSTMENT IS NECESSARY.

THE CONTRACTOR SHALL PROTECT FRESH CONCRETE FROM DAMAGE BY THE WEATHER, TRAFFIC. OR VANDALISM. DAMAGED CONCRETE SHALL BE REPLACED BY THE CONTRACTOR'S EXPENSE.

SANITARY SEWER CONSTRUCTION NOTES

THE NEW SANITARY SEWER SHALL NOT BE CONNECTED TO THE EXISTING SEWER UNTIL APPROVED BY THE

AT LEAST TEN FEET OF HORIZONTAL AND EIGHTEEN INCHES OF VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE SEWER AND EXISTING WATER MAINS.

MANHOLES SHALL BE LOCATED NEAR PROPERTY LINES, WHEN POSSIBLE.

MANHOLES SHALL BE CONSTRUCTED FROM PRECAST CONCRETE MANHOLE SECTIONS, MEETING ASTM C443. MANHOLE JOINTS SHALL BE MADE WITH RUBBER O-RING GASKETS. THE SECTION BETWEEN THE TOP OF THE PRECAST CONE AND THE BOTTOM OF THE CASTING SHALL BE CONSTRUCTED OF PRECAST GRADE RINGS, OF TOTAL THICKNESS SO THAT THE MANHOLE CASTING IS PLACED AT THE PROPER FINAL ELEVATION, EXCEPT THAT THE TOTAL THICKNESS SHALL NOT EXCEED TEN INCHES.

MANHOLE STEPS SHALL BE EQUALLY SPACED AT 15 INCHES. THE DISTANCE FROM THE TOP STEP TO THE TOP OF THE MANHOLE CASTING SHALL NOT EXCEED 16 INCHES.

THE CONTRACTOR SHALL CONDUCT A LOW PRESSURE AIR TEST ON ALL SANITARY SEWERS LESS THAN 24 INCHES IN DIAMETER. THE AIR TEST SHALL MEET THE REQUIREMENTS OF ASTM C 924 FOR CONCRETE PIPE AND ASTM F1471 FOR PLASTIC PIPE. IN AREAS WHERE GROUNDWATER IS OVER THE PIPE, THE TEST PRESSURE SHALL BE INCREASED EQUAL TO THE HYDRAULIC PRESSURE EXERTED BY THE WATER OVER THE PIPE, AS DETERMINED BY THE ENGINEER.

PROJECT SITE

SECTION 13, T.14N.-R.4.W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

1. THE UTILITIES AND TOPOGRAPHIC FEATURES SHOWN ARE BASED UPON VISIBLE EVIDENCE, FIELD LOCATED SURFACE STRUCTURES AND VARIOUS UTILITY RECORDS. PHYSICAL UNDERGROUND IMPROVEMENTS ARE APPROXIMATE IN SOME AREAS AND WE DO NOT WARRANT THE LOCATION OF UNSEEN TOPOGRAPHICAL FEATURES. SINCE COMPLETELY ACCURATE RECORDS OF ALL UTILITIES ARE DIFFICULT TO OBTAIN, WE DO NOT WARRANT THE LOCATION OF THE UNDERGROUND PORTION OF THE UTILITIES AS PLOTTED FROM UTILITY RECORDS. MISS DIG SHOULD BE CONTACTED PRIOR TO ANY

HYDRANTS, VALVES, AND OTHER MATERIALS SHALL MEET THE OWNER'S STANDARDS, WITH REGARD TO MANUFACTURER AND MODEL, AND DETAILS SUCH AS OPENING DIRECTION, HYDRANT COLOR, HYDRANT

BETWEEN THE WATERMAIN AND SEWERS (STORM OR SANITARY).

THE DEPTH OF BURY SHOWN ON THE PLANS SHALL BE PROVIDED, AS A MINIMUM, OVER THE TOP OF THE WATERMAIN PIPE TO THE FINISHED GROUND OR PAVEMENT SURFACE. UNLESS SPECIFICALLY DIRECTED OTHERWISE ON THE DRAWINGS, THE DEPTH OF BURY SHOWN ON THE PLANS SHALL BE MAINTAINED BETWEEN THE BOTTOM OF DITCHES AND THE TOP OF THE PIPE.

ALL BENDS, TEES, PLUGS, HYDRANTS, VALVES, AND OTHER FITTINGS WHERE THRUST MAY OCCUR SHALL BE RESTRAINED APPROPRIATELY BY THRUST BLOCKS OR JOINT RESTRAINT.

HYDRANTS SHOULD BE LOCATED NEAR PROPERTY LINES, WHERE POSSIBLE.

EXISTING WATER VALVES SHALL BE OPERATED ONLY BY THE WATER DEPARTMENT'S PERSONNEL.

SHALL BE SCHEDULED IN ADVANCE BY THE CONTRACTOR WITH THE OWNER. THE CONTRACTOR SHALL PROVIDE NOTIFICATION TO AFFECTED WATER CUSTOMERS IN AT LEAST A DAY IN ADVANCE OF ANY SCHEDULED SERVICE DISRUPTIONS.

NECESSARY BEFORE SHUTTING DOWN EXISTING WATERMAINS FOR NEW CONNECTIONS. ALL FITTINGS, PARTS, AND EQUIPMENT NECESSARY TO COMPLETE THE PROPOSED CONNECTIONS TO THE EXISTING MAIN SHALL BE AVAILABLE AT THE SITE BEFORE THE EXISTING MAIN IS SHUT DOWN

THE COMPLETED WATER MAIN SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE. THE TEST PRESSURE SHALL BE 150 PSI. THE TEST DURATION SHALL BE 2 HOURS. THE CONTRACTOR SHALL CONDUCT SUCH PRELIMINARY TESTING TO EXPEL AIR AND VERIFY THAT THERE ARE NO LEAKS IN THE PIPELINE. THE TEST SHALL BE WITNESSED BY THE ENGINEER OR OWNER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR

IF THE CONTRACTOR ELECTS TO PRESSURE TEST AGAINST AN EXISTING VALVE, THE OWNER DOES NOT GUARANTEE THAT EXISTING VALVES CAN RESIST THE TEST PRESSURE. IF THE CONTRACTOR BELIEVES THAT AN EXISTING VALVE IS THE CAUSE OF A FAILED PRESSURE TEST, HE SHALL EITHER REPAIR THE VALVE AND

UNLESS SPECIFICALLY PROVIDED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE TO FURNISH WATER FOR TESTING AND DISINFECTION.

WATER FROM THE CONTRACTOR'S FLUSHING AND DISINFECTION ACTIVITIES SHALL BE DISPOSED OF TO PREVENT EROSION OR FLOODING.

TESTING. TAPS TO THE WATERMAIN SHALL BE PLUGGED WITH BRASS PLUGS.

CORPORATIONS SHALL BE LEFT IN THE "OPEN" POSITION. CURB STOPS FOR FUTURE CONNECTIONS SHALL BE LEFT "CLOSED": CURB STOPS FOR CURRENT WATER CUSTOMERS SHALL BE LEFT "OPEN" ONCE

> (M20)ROAD BROADWA ROAD RESERVE ROA BROOMFIELD DEERFIELD ROAD

LOCATION MAP NO SCALE

WATERMAIN CONSTRUCTION NOTES

CONFIGURATION, AND HYDRANT THREAD PATTERN.

NEW WATERMAIN SHALL NOT BE CONNECTED TO THE EXISTING WATER MAIN WITHOUT THE APPROVAL OF THE

AT LEAST TEN FEET OF HORIZONTAL AND EIGHTEEN INCHES OF VERTICAL SEPARATION SHALL BE MAINTAINED

THE SHUTTING DOWN OF EXISTING WATERMAINS TO ALLOW FOR COMPLETING THE CONTRACTOR'S WORK

THE CONTRACTOR SHALL EXPOSE EXISTING MAINS TO VERIFY THE SIZE, MATERIALS, AND ANY FITTINGS

OWNER AT LEAST 24 HOURS IN ADVANCE OF THE TIME FOR TESTING.

RETEST OR TEST AGAINST A PLUG, AT HIS EXPENSE.

THE CONTRACTOR SHALL FURNISH AND INSTALL CORPORATIONS, TAPS, PIPING, AND FITTINGS AS NECESSARY TO COMPLETE THE REQUIRED FLUSHING AND TESTING FOR ACCEPTANCE. AFTER ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS, TAPS, PIPING, AND FITTINGS USED FOR FLUSHING AND

TAPS FOR SERVICE CONNECTIONS SHALL BE COMPLETED UNDER PRESSURE. THE CORPORATION AND SERVICE LEAD SHALL BE VISUALLY CHECKED FOR LEAKAGE WHILE UNDER PRESSURE. ALL JOINTS SHALL REMAIN EXPOSED UNTIL THE ENGINEER HAS OBSERVED THEM.

ROWE PROFESSIONAL SERVICES COMPANY 127 S. Main Street Mt Pleasant MI 48858 O: (989) 772-2138 F: (989) 773-7757 NOTE SHEET

12-718

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FOR BIDDING 8-13-2013

DATE ISSUED

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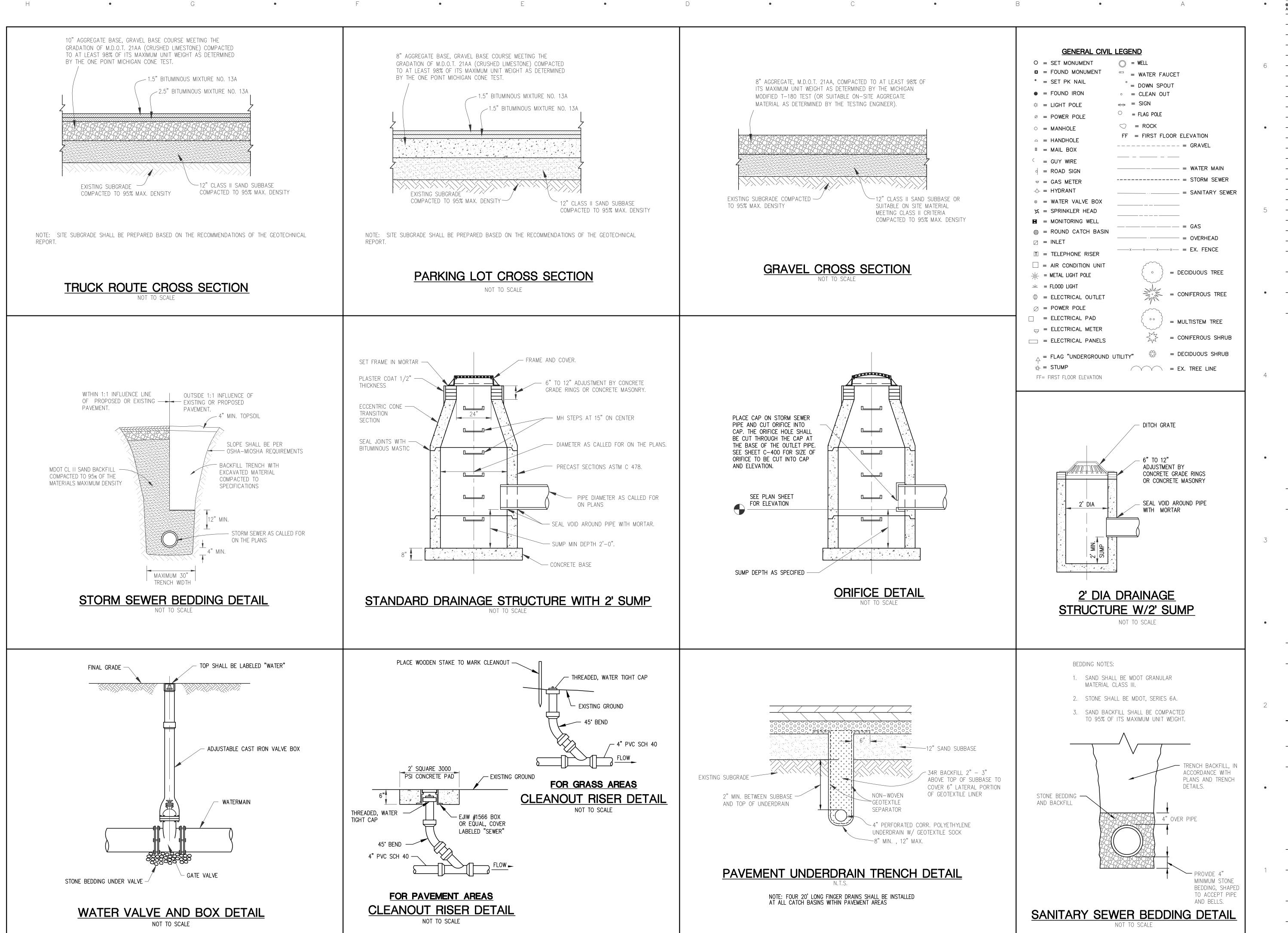
PROJECT

CONSULTANT

SHEET TITLE

PROJECT NUMBER

SHEET NUMBER



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FOR BIDDING 8-13-2013

12 - 718

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Mid Michigan Community Colle NEW TECH CENTER UNT PLEASANT CAM

PROJECT

ROWE PROFESSIONAL SERVICES COMPANY 127 S. Main Street Mt Pleasant MI 48858 O: (989) 772-2138

F: (989) 773-7757 CONSULTANT

DETAILS

SHEET TITLE

PROJECT NUMBER

SHEET NUMBER

VARIES PER PLAN 1/8" PER FT. (MIN.) VARIES TOPSOIL, SEED, & MULCH ALL DISTURBED AREAS. COMPACTED SAND BASE EXISTING SUBGRADE COMPACTED TO 95% -UNDERCUT ALL FROST SUSCEPTIBLE MATERIAL TO → 4000 PSI CONCRETE SIDEWALK A DEPTH OF 1' BELOW BOTTOM OF SAND BASE.

TYPICAL CONCRETE SIDEWALK CROSS SECTION

~8" THICK CONCRETE PAVEMENT (3500 PSI) \nearrow REINFORCE WITH 6 x 6 x W1.4 x W1.4 SLOPE AWAY FROM WELDED WIRE FABRIC PLACED IN BUILDING AT 2% LOWER THIRD OF PAVEMENT

VAN **ACCESSIBLE**

RESERVED

PARKING

BARRIER FREE VAN ACCESSIBLE SIGN MDOT R7-8 NO SCALE

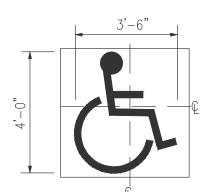
BARRIER FREE <u>SIGN</u> MDOT R7-8 NO SCALE

RESERVED

PARKING

1. ALL SIGNS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

BARRIER FREE PARKING SIGNAGE



1. SYMBOL SHALL BE APPLIED AT A WIDTH OF 4" AND PAINTED WHITE ON BLUE BACKGROUND. 2. CENTERLINE OF SYMBOL SHALL BE PARALLEL TO PARKING STALL STRIPE AND IN CENTER OF STALL.

BARRIER FREE PARKING PAINTING

THICKENED EDGE WALK DETAIL NOT TO SCALE

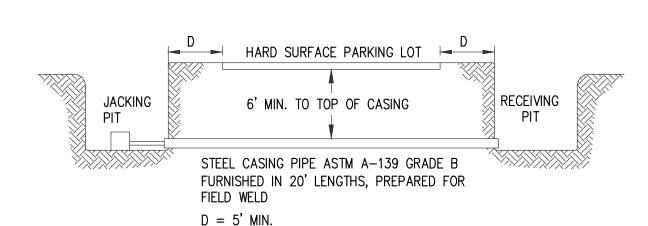
Landscaping Requirements:

-The distance from the Right-of-Way (ROW) should have 30 square feet of landscaping/parking space.

-With 10 or more spaces, interiror landscape shall be included. -1 tree unit is equal to one evergreen/one decidious tree or 3 shrubs. -Plant material other than groundcover up to three (3) feet in height

shall not be placed closer than four (4) feet from the property line.

-Where plant materials are placed in two (2) or more rows, plantings shall be staggered in rows.



ALL BORING AND JACKING OPERATIONS WITHIN THE CITY OF MIDLAND R.O.W. WILL REQUIRE DEPARTMENT APPROVAL AND THE COMPLETION OF A PERMIT FORM.

- 2. THE CONTRACTOR SHALL ABIDE BY ALL MIOSHA SAFETY PRECAUTIONS INCLUDING BARRICADING PER THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 3. THE CONTRACTOR SHALL PROTECT AND/OR RESTORE ALL PROPERTY WITHIN DISTURBED AREA.
- 5. THE SHEETING OF THE FRONT FACE OF THE BORING PIT WILL BE REQUIRED IF UNSTABLE SOIL

4. THE CONTRACTOR SHALL ABIDE BY ALL PERTINENT STANDARDS FOR WATER MAIN INSTALLATION.

- CONDITIONS ARE ENCOUNTERED.
- 6. THE CASING PIPE MUST ALWAYS PRECEDE THE AUGER HEAD.

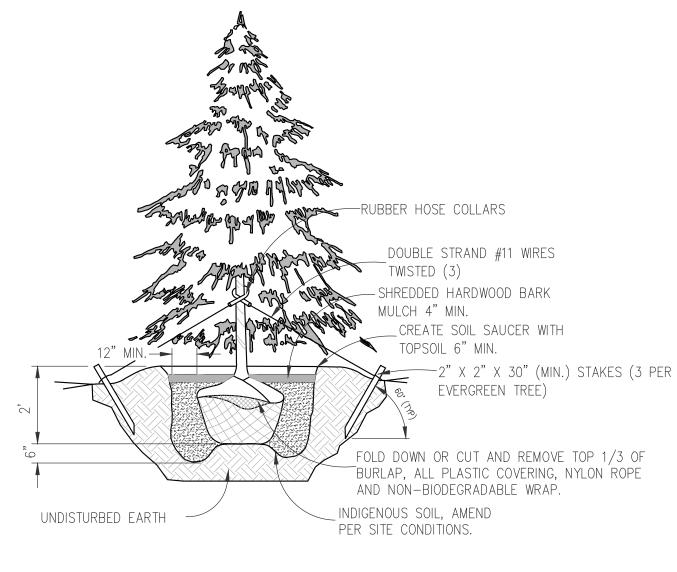
21"-24" SANITARY SEWER CONC.

- 7. THE CONTRACTOR SHALL NOTIFY THE PERMITTING AGENT 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 9. VOID BETWEEN CARRIER PIPE AND CASING SHALL BE FILLED WITH CEMENT OR SAND FILL AND ENDS CAPPED.

8. A WOOD SKID AND METAL BAND MUST BE INSTALLED AT ALL JOINTS TO MAINTAIN ALIGNMENT.

SIZE AND	MIN. CASING DIA. O.D.	MIN. WALL THICKNESS
MATERIAL	INCHES	INCHES
8" D.I. WATERMAIN OR SMALLER		
6" SANITARY SEWER V.C.P OR P.V.C.	12.75	0.375
10"-12" D.I. WATERMAIN	20.00	0.375
8"-10" SANITARY SEWER	20.00	0.575
16" D.I. WATERMAIN	24.00	0.375
12"-15" SANITARY SEWER		
20"-24" D.I. WATERMAIN	30.00	0.406
18" SANITARY SEWER CONC.		300

BORE AND JACK CONSTRUCTION



TYPICAL EVERGREEN PLANTING DETAIL

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SITE LIGHTING POLE BASE DETAIL

-LIGHTING POLE

─BOLT COVER

-BASE PLATE

PROVIDE LEVELING NUT

-PAVEMENT OR GRADE

— 4 #7 WITH #3 TIES

— REINFORCED ROUND CONCRETE BASE (24" D)

SCHEDULE 40 PVC

HUBBELL AREA LIGHTING

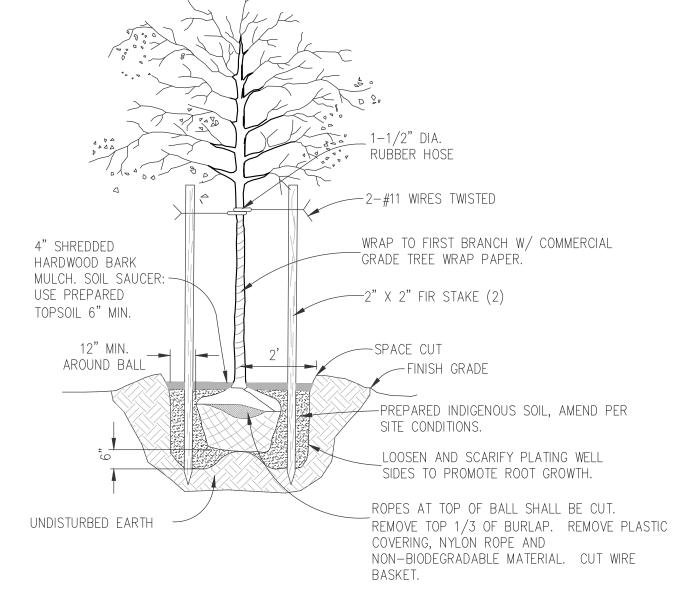
FOUNDATION CAT.

T112-0564

-FLUSH SINGLE GANG BOX FOR

RECEPTACLE WHERE INDICATED

CHAMFER BELOW POLE BASE

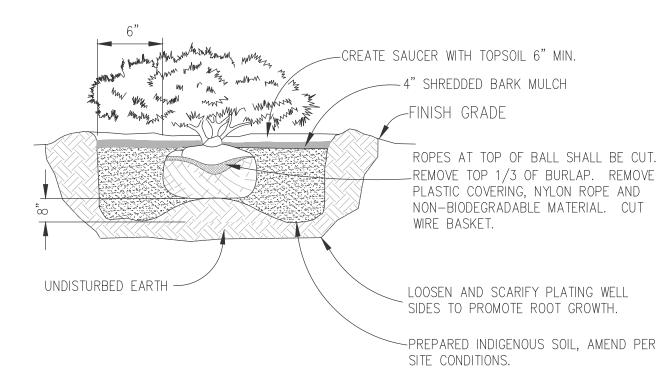


REINFORCED CONCRETE PAVEMENT DETAIL

MIN 4" CLASS II SAND MATERIAL,—

COMPACTED TO 95% MAX DENSITY

TYPICAL DECIDUOUS TREE PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL

LANDSCAPE NOTES:

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS TELEPHONE, CABLE MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF THESE SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. LANDCAPE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.

CONTRACTOR WILL SUPPLY FINISH GRADE AND EXCAVATE AS NECESSARY TO SUPPLY A MINIMUM 4" SHREDDED BARK MULCH IN ALL PLANTING BEDS AND 3" TOPSOIL IN ALL LAWN AREAS UNLESS NOTED OTHERWISE.

4. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY VIGOROUS CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINTED BY THE OWNER'S REP. DURING AND AT THE END OF THE GUARANTEE PERIOD.

5. ALL PLANT MATERIAL AND PLANTINGS SHALL CONFORM TO ANSI 260.1 OR CURRENT EDITION. 6. AREAS NOT SPECIFIED WITH PLANT MATERIAL SHALL BE FINE GRADED AND SEEDED FOR TURF ESTABLISHMENT.

7. WHERE A DISCREPANCY IS FOUND BETWEEN EXISTING FIELD CONDITIONS AND/OR REQUIRED LANDSCAPING WORK, NOTIFY CONSTRUCTION MANAGER FOR CLARIFICATION IMMEDIATELY. 8. ALL LAYOUT IS TO BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.

9. ALL EXCESS EXCAVATED MATERIALS AND DEBRIS, WHICH ARE NOT ACCEPTED FOR DISPOSAL ON SITE BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF LEGALLY OFF SITE. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, RADII, AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION. ANY DAMAGE TO EXISTING LANDSCAPING SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

11. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.

12. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.

13. ALL TREES TO RECEIVE A 6' DIAMETER MULCH RING

Mid Michigan Community College

PROJECT



DETAILS

SHEET TITLE

12 - 718

PROJECT NUMBER

36.00

0.469

SHEET NUMBER

LIGHTING FIXTURE (SEE PLANS FOR

CLAMP GROUNDING

CONDUCTOR TO

BOLT ASSEMBLY

THERMITE WELD

GROUND ROD —

3/4" ANCHOR BOLT-

(TYPICAL FOR 4)

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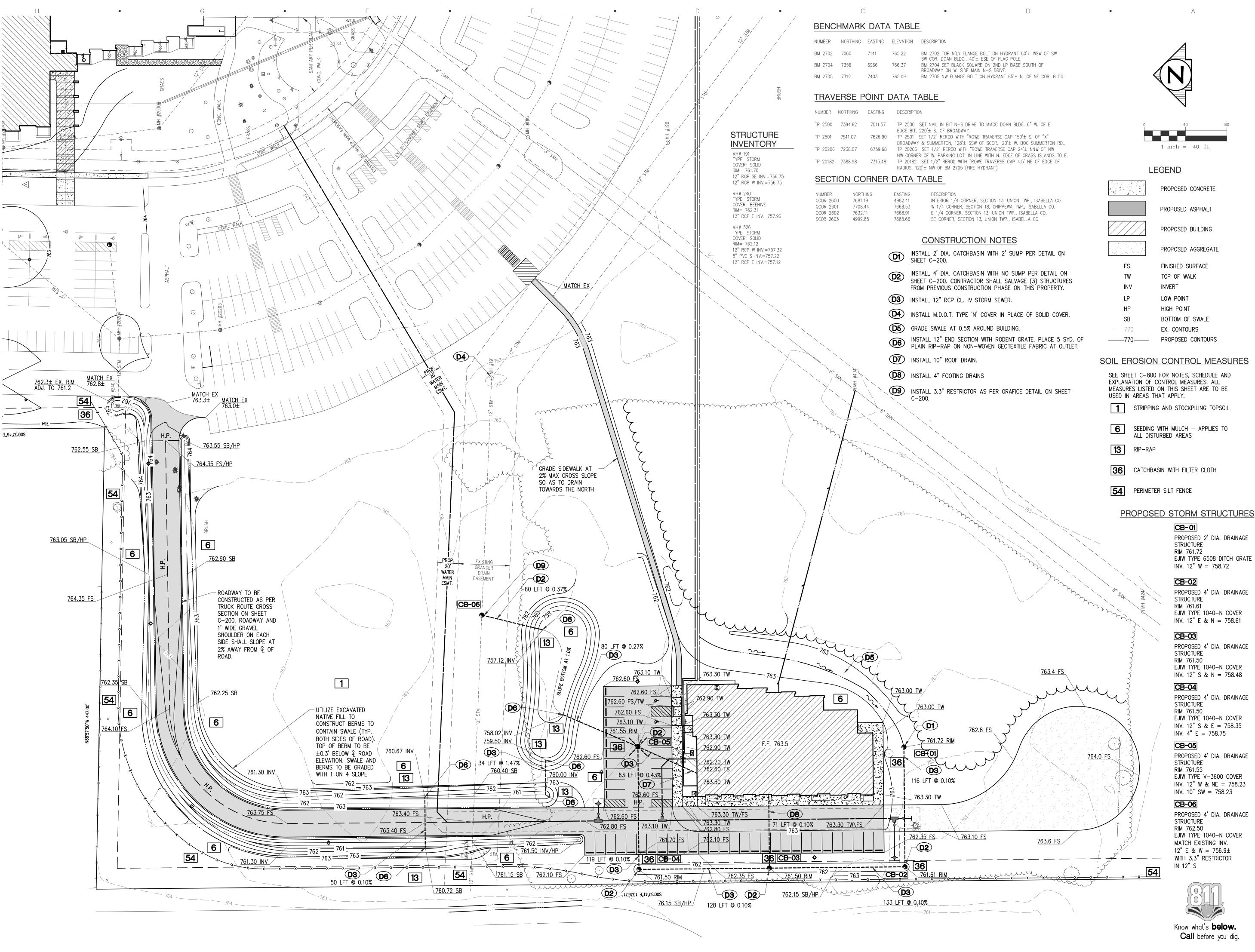
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CONSULTANT



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Mid Michigan Community Colleg

ROWE PROFESSIONAL SERVICES COMPANY

127 S. Main Street Mt Pleasant MI 48858

O: (989) 772-2138

F: (989) 773-7757

GRADING

12-718

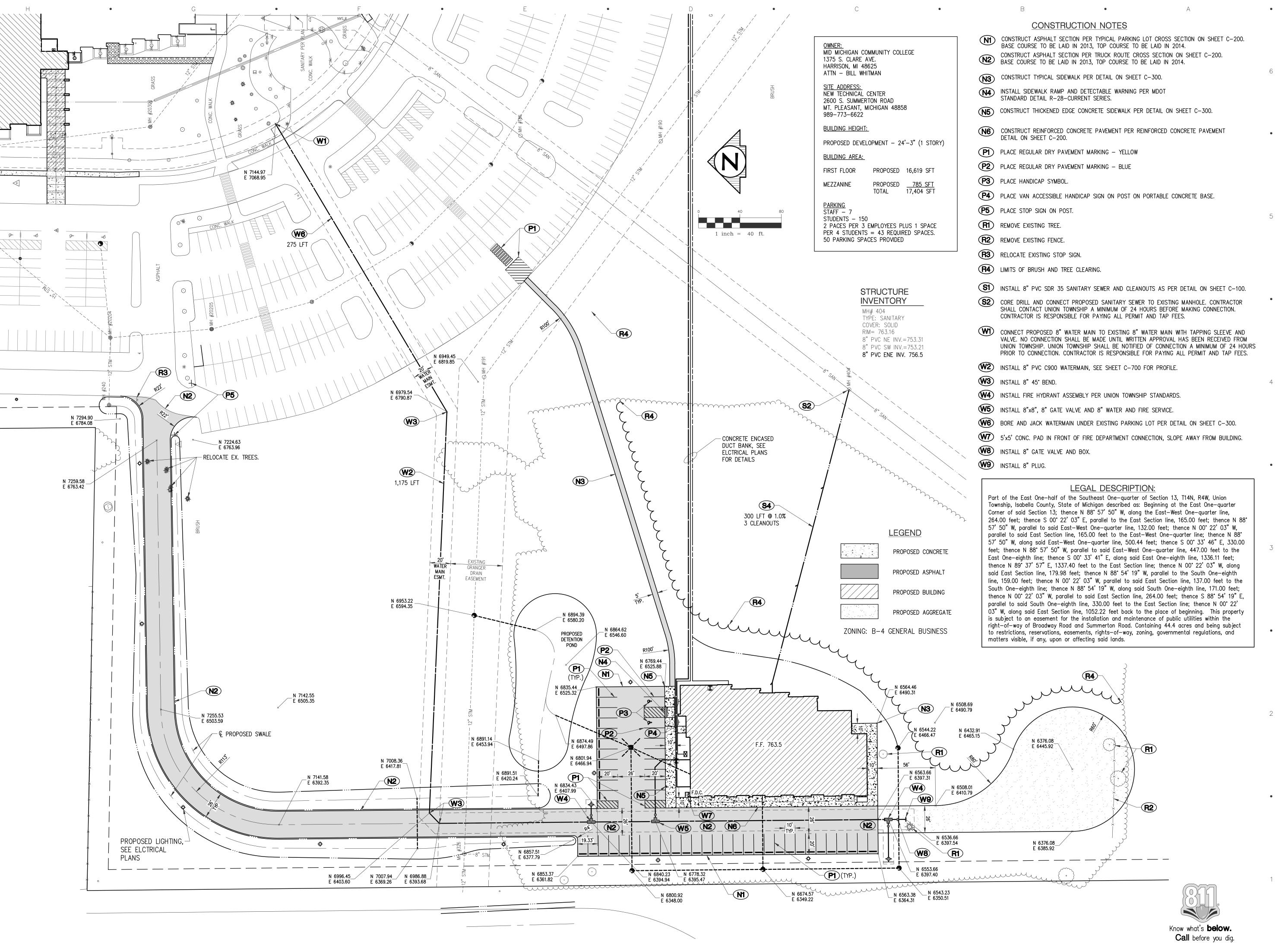
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NEW TECH CENTER
INT PLEASANT CAM

PROJECT

SHEET NUMBER

SHEET TITLE



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Mt Pleasant MI 48858

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SITE PLAN

12-718

CONSULTANT

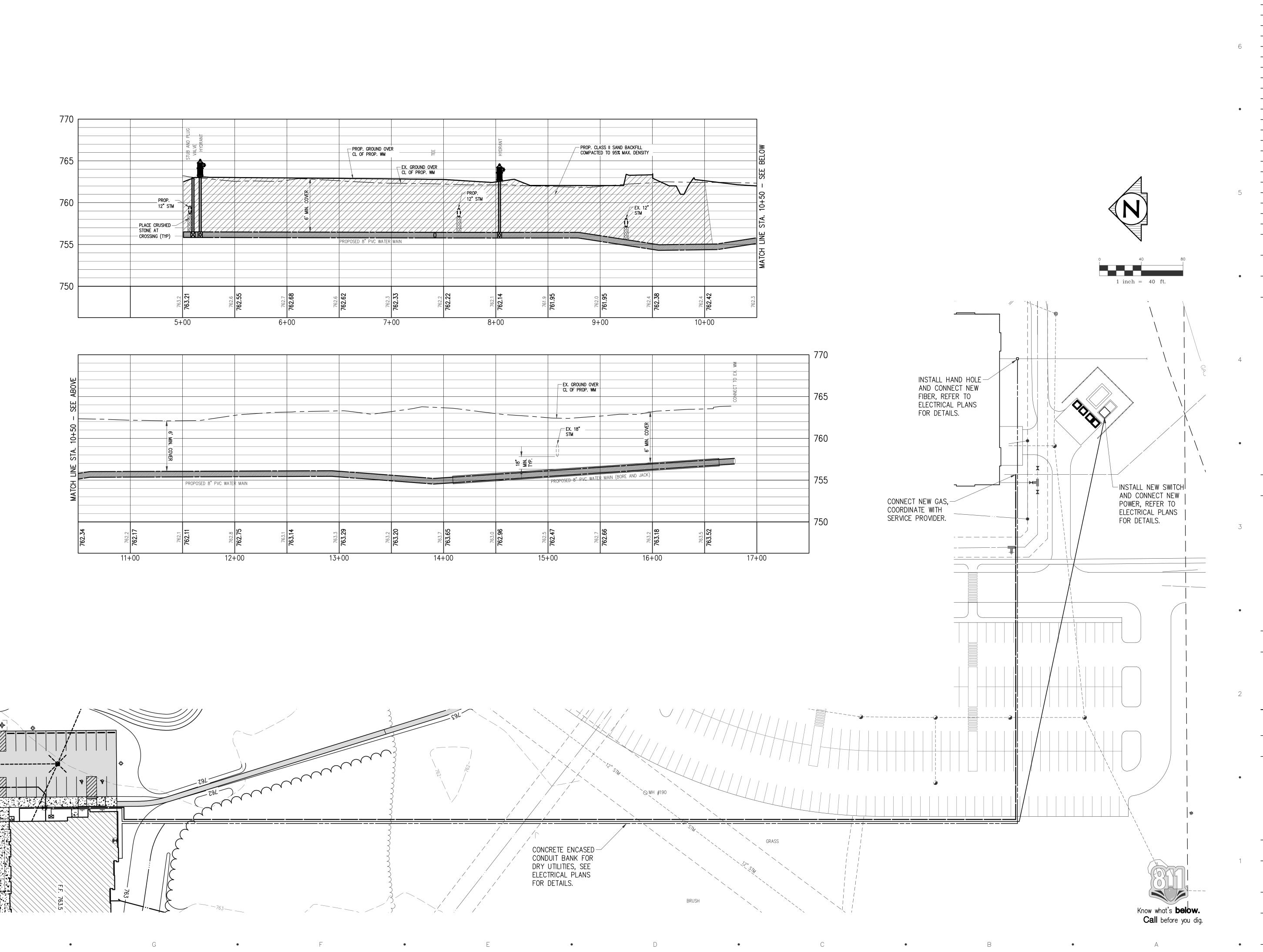
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NEW TECH CENTER
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Mid Michigan Community College

NEW TECH CENTER MOUNT PLEASANT CAMPI

PROJECT

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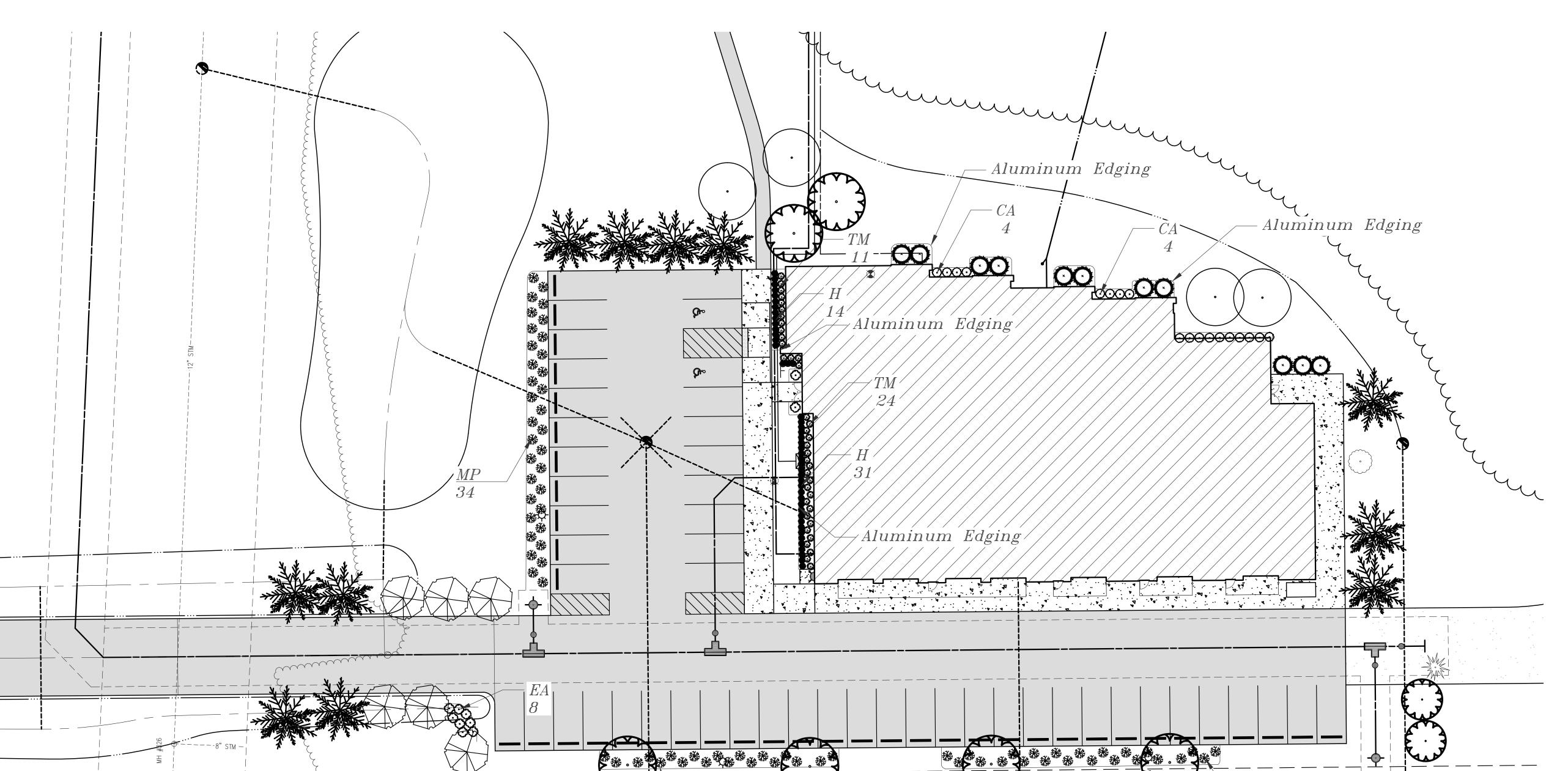
WATERMAIN PROFILE

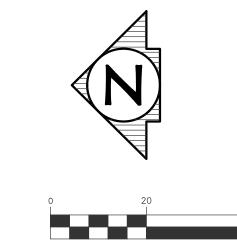
SHEET TITLE

12-718

PROJECT NUMBER

SHEET NUMBER





TREE SCHEDULE

SYM	KEY	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
0	В	8	2" CALIPER	BETULA PAPYRIFERA 'SELECT'	PAPER BIRCH	B & B
\odot	С	4	2 1/2" CALIPER	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B
0	J	11	6'	JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'	GREEN COLUMNAR JUNIPER	B & B
₩	М	6	2" CALIPER	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	B & B
*	Р	11	6'	PICEA GLAUCA	WHITE SPRUCE	B & B

PLANT SCHEDULE

SYM	KEY	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
\odot	EA	18	36"	EUONYMOUS ALATA 'COMPACTA"	COMPACT BURNINGBUSH	B & B
\odot	CA	8	CLUMP	CALIMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	NO. 2 CONT.
9	Н	33	CLUMP	HOSTA 'ABIQUA MOONBEAM'	ABIQUA MOONBEAM HOSTA	NO. 2 CONT.
雑	MP	76	36"	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	NO. 5 CONT.
£ 13	ТМ	48	24"	TAXUS X MEDIA 'CHADWICK'	CHADWICK YEW	B & B



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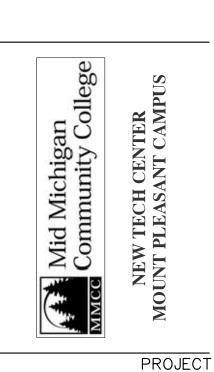
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DATE ISSUE

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sing, MI 48933
17 484 4870



ROWE PROFESSIONAL
SERVICES COMPANY

127 S. Main Street
Mt Pleasant MI 48858
0: (989) 772-2138

CONSULTA

LANDSCAPE PLAN

SHEET TIT

12-718

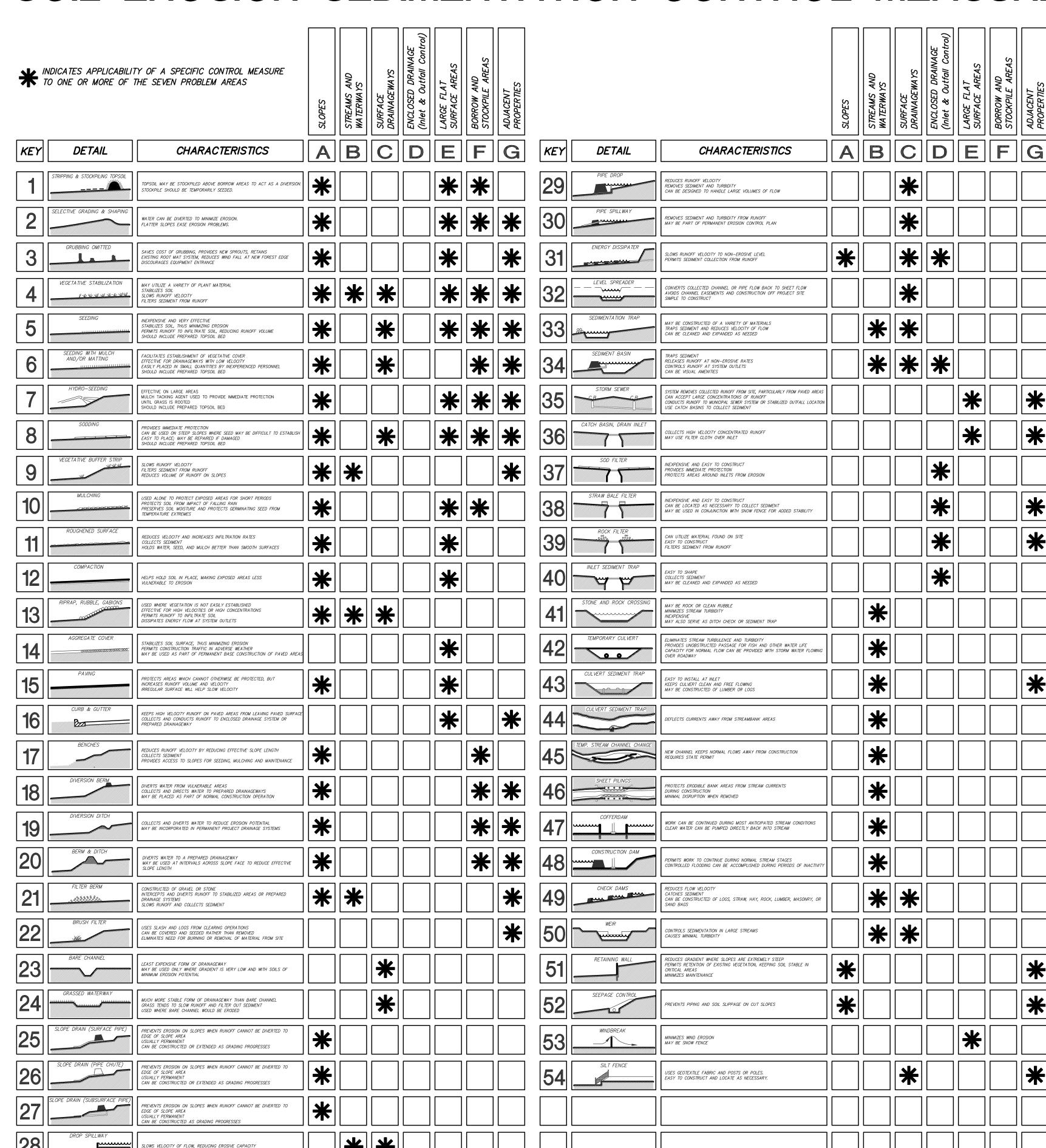
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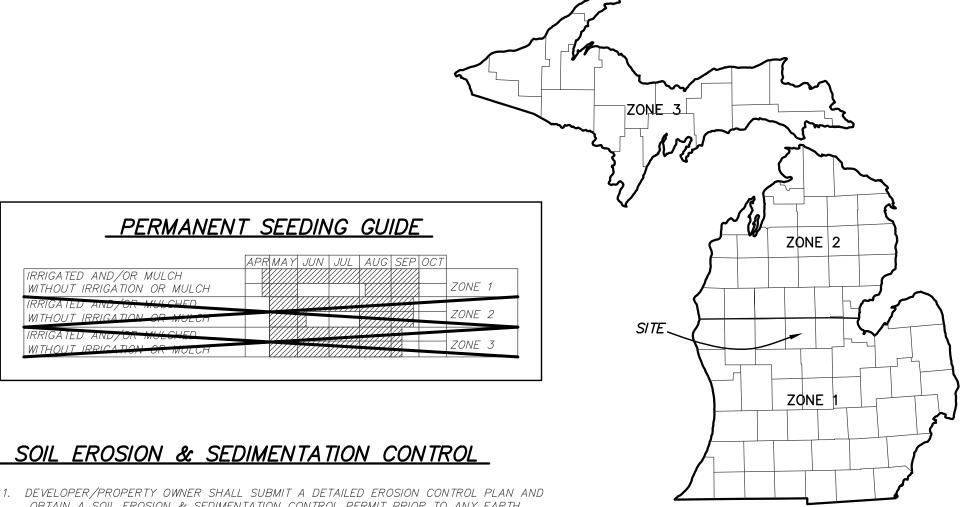
_ / () ()

REFERENCE ONLY - NOT IN CONTRACT

MICHIGAN UNIFIED KEYING SYSTEM SOIL EROSION SEDIMENTATION CONTROL MEASURES







- 1. DEVELOPER/PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION & SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH
- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING
- BACKFILLING AND/OR GRADING OPERATIONS. 3. BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF
- 4. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION. 5. CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES
- ARE NOT DISTURBED. 6. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT
- CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
- ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE REMOVED FROM ROAD
- RIGHT-OF-WAY AREAS PRIOR TO ACCEPTANCE OF STREETS FOR ROUTINE MAINTENANCE. 9. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION GUARANTEE.

DEQ STREAM CROSSING NOTES

- 1. CONSTRUCTION OF STREAM CROSSINGS SHALL BE SUBJECT TO THE SPECIFICATIONS FOR PROTECTION OF NATURAL RESOURCES AT UTILITY CROSSINGS AS GIVEN IN THE ADMINISTRATIVE RULES FOR ACT 346(RULES 24-29)
- 2. A SILTATION BARRIER SHALL BE CONSTRUCTED IMMEDIATELY DOWNSTREAM OF THE CONSTRUCTION SITE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. (SEE MICHIGAN UNIFIED KEYING SYSTEM FOR SPECIFIED BARRIER) THE SILTATION BARRIER SHALL BE MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
- 3. BACKFILL SHALL CONSIST OF INERT MATERIALS WHICH WILL NOT CAUSE SILTATION NOR CONTAIN SOLUBLE CHEMICALS OR ORGANIC MATTER WHICH IS BIODEGRADABLE. ALL FILL SHALL BE CONTAINED IN SUCH A MANNER SO AS NOT TO ERODE INTO ANY WATERCOURSE.
- 4. ALL RAW BANKS SHALL BE STABILIZED WITH RIPRAP TO THREE FEET ABOVE THE ORDINARY HIGH WATERMARK, THEN SEEDED, FERTILIZED AND MULCHED, OR SODDED TO PREVENT EROSION.
- 5. UPON PROJECT COMPLETION THE EXCESS SPOILS SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED UPLAND SITE. 6. SILTATION BARRIER MAY BE REMOVED UPON PLACEMENT OF PERMANENT

SPACING 6' MAX.

GEOTEXTILE — FILTER FABRIC

6" ANCHOR TRENCH

FENCE POST DRIVEN INTO GOUND 1' MIN.

SUPPORT FENCE—X

IF NECESSARY

SUPPORT FENCE-IF NECESSARY

<u>FRONT VIEW</u>

GEOTEXTILE FILTER FABRIC -FASTENED ON UPHILL SIDE,

TOWARDS EARTH DISRUPTION

UNDISTURBED VEGETATION

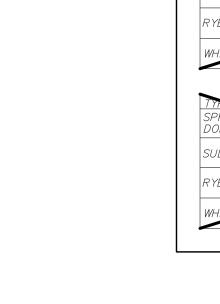
EARTH

EROSION CONTROL MEASURES.

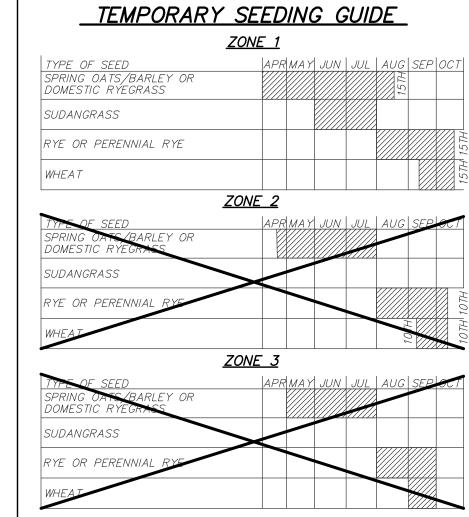
SILT FENCE -

WRAPPED AROUND STAKE

JOINT



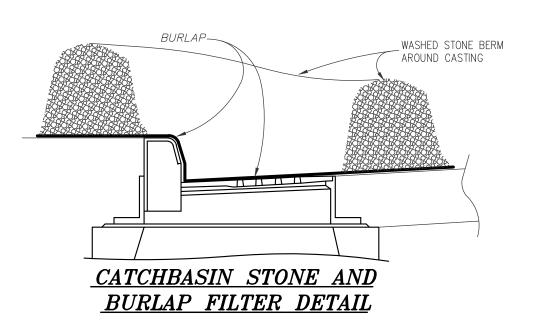
_ 2"x2" STAKES



SEEDING ZONES

CONSTRUCTION SEQUENCE

- 1. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING, DIVERSIONS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
- 2. EXCAVATION AND STOCKPILING OF SOIL PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES. 4. PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.





Mid Michigan Community Colleg

NEW TECH CENTER

PROJECT

60

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DETAILS

SHEET TITLE

12 - 718

PROJECT NUMBER

SHEET NUMBER

<u>PLAN VIEW</u> SILT FENCE DETAIL

FILL OUT THE FOLLOWING

I.	This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
II.	Applicant Name JBS Contracting Inc
III.	Applicant Address PO BOX 370 tt. Pleasont TII 48558
IV.	Applicant Phone 989-773-0770 Owner Jim Kremsreiter
V.	Applicant is (circle Contractor Architect/Engineer Developer Land Owner(skip 5& 6) Other
VI.	Land Owner Name Rat Jacoben
VII.	Land Owner Address 2362 Porking Dr. MT. Pleasont MI 48858
VIII.	Project/Business Name ALE Place House
IX.	Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area (for example, under sidewalks write "none" in the comment area if you are not installing any sidewalks). For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	1	
	Off	
Storm water management plan approval prior to		Copy of Union Township Storm Water Management Plan
application. Reviewed by the County Engineer		available upon request. Submit (2) copies of plan and
application. Reviewed by the County Engineer		calculations directly to the Isabella County Engineer,
		contact Bruce Rohrer at (989) 772 0911, ext. 231. Any
read		review fees are additional.
peec		review lees are additional.
All and a decided to the second	-	MDOT 01 00 DD 107 11 1 1000 TTO TTO 1
All curb cuts, acceleration/deceleration lanes,		MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact
additional drives, and other matters pertaining to		Isabella County Road Commission (all other county roads)
roads to be approved by MDOT or Isabella		at (989),773 7131. Submit (3) copies.
County Road Commission prior to application.		the Destrice Novine
		The state of the s
Mt. Pleasant Fire Dept. Peed		Sgt Rick Beltnick (989) 779-5122, (2) copies
The reason of the beginning of the second of		Sgt Nick Bertinek (989) 779-3122, (2) copies
Isabella Co Transportation Commission (ICTC)		Down Adama (090) 772 2012 Feet 106 (2)
Isabena Co 1: ansportation Commission (ICIC)		Denny Adams (989) 773 2913 Ext 106, (2) copies
	E0001100000000000000000000000000000000	
CALLED AN DECAMPENDED		
SITE PLAN REQUIREMENTS	7	Comments - (also indicate any features which will not
SITE PLAN REQUIREMENTS	√ Off	Comments - (also indicate any features which will not be included in the development or are not applicable)
-		
SITE PLAN REQUIREMENTS Name and addresses of Property Owner		
Name and addresses of <u>Property Owner</u>	Off	be included in the development or are not applicable)
-		
Name and addresses of <u>Property Owner</u>	Off	be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u>	Off	be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and	Off	be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not	Off	be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and	Off	be included in the development or are not applicable)
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Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided) The <u>date</u> , <u>north arrow</u> and <u>scale</u> . The scale shall be not less than 1"=20' for property under three (3)	Off	be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided) The <u>date</u> , <u>north arrow</u> and <u>scale</u> . The scale shall be	Off	be included in the development or are not applicable) OK Assume 1Vb Unsprikted
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided) The <u>date</u> , <u>north arrow</u> and <u>scale</u> . The scale shall be not less than 1"=20' for property under three (3)	Off	be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u> Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided) The <u>date</u> , <u>north arrow</u> and <u>scale</u> . The scale shall be not less than 1"=20' for property under three (3) acres and not more than 1"=40' for property greater	Off	be included in the development or are not applicable) OK Assume 1Vb Unsprikted

All lot and/or property lines are to be shown and dimensioned, including building setback lines	NA	Setbache are ok - 50' from
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) drives,	1/5 52×2×2×2×1</td <td>- peed waiver 5./ PC</td>	- peed waiver 5./ PC
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	/	Note Columns Not Orealer than 35' high (26' plus Crown)
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	/	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department (773 5921)
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)		
The location and right-of-way width of all abutting roads, streets, alleys and easements.	/	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	1	
The zoning of the subject property and the abutting properties.		
The location, height and type of fences and walls.	/	

The location and detailed description of landscaping.	N/A	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	Ma	
1		
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	MA	
COMMENTS		
	The state of the s	
· ·		
I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws. Signature of Applicant Date		
Signature of Owner (if other than applicant)	Date	
PLEASE PLACE OUR REVIEW ON THE Acquist 70, 2013 (INSERT DATE)		

PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

Township use	Storm water parit, MPFD and DCRC opproved	
File #	Storm water parint, MPFD	
Fee Paid initial	and Dire opproved	
Receipt #		
Date received		
Date review completed by Zoning Administrator		
Place on the Planning Commission Agenda		
Planning Commission Decision		

