



# Memo

FROM THE DESK OF THE ZONING ADMINISTRATOR

To: Planning Commission

Date: August 16

Re: August 20 Meeting Notes

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TXT 1710 - We begin with our text amendment for occupancy above 3 unrelated. This is intended for rentals where they are occupied by unrelated persons and not a family. While families can have unlimited numbers, they behave as a unit. Possibly two cars, rarely one for each person in the family. We have had a definition of rooming dwelling in our ordinance without any use of the term outside the definitions. That contemplates a family plus 2 additional renters. What this amendment intends is for a fixed number of persons in each unit. This will be a special use permit and we can examine each location on it's own merits. In any case, the until could still be rented to one family without a special use permit. Where the occasional family wants to stay in their home and rent out a bedroom or two, that will now also be a special use permit. I included a definition and use for a boarding dwelling, which is mentioned in our rental ordinance. This has been reviewed and edited by our legal counsel. I suggest we recommend approval to the board.

SPR 1716 – MMCC Technical Center. This has been reviewed by Fire Dept, and the letter should be done by the meeting. The Storm Plan letter should indicate the existing has been sized to accommodate this building. It is not connected to the main building. I recommend approval based on compliance with Storm water approval, and MPFD requirements. If you recall the driveway was relocated on the last plan review we did for the third phase of the main building. Sidewalks have already been installed for other buildings.

SPR 1717 – This is for a hanger at the Mt Pleasant Airport. While the city has control over the airport, it is only the Control Tower building that a municipal building, the

hangers are leased and approved by the taxing unit, Union Township. The plan meets our setbacks and building requirements, MPFD letter is forthcoming and will control the fire rating of the construction of the hanger and if any additional hydrants are required. I also suggest we waive sidewalk requirements at this location. The road commission review will also control the proposed driveway. Approve contingent on ICRC, MPFD and Storm Plan approvals

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular Meeting Agenda**

**Date: August 20, 2013**

**Time: 7:00 p.m.**

**Place: Union Township Hall**

**Pledge of Allegiance**

**Roll Call**

**Minutes of August 6 special meeting**

**Correspondence**

**Approval of Agenda**

**Public Comment: restricted to three (3) minutes regarding issues not on this agenda**

**UNFINISHED BUSINESS**

- 1.) TXT 1710 – Text Amendment, present proposed ordinance for occupancy of up to five unrelated by Special Use Permit**

**NEW BUSINESS**

- 1.) SPR 1716 – Mid Michigan Community College, 5850 E Broadway Rd. Site Plan Review for Technical Center**
- 2.) SPR 1717 – Site Plan Review for Airplane Hanger at Mt Pleasant Airport, 1105 S Isabella Rd, for Pat Garmin**

**Other Business**

**Extended Public Comment**

**Adjournment**

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Special Meeting**

A special meeting of the Charter Township of Union Planning Commission was held on August 6, 2013.

**Meeting was called to order at 7:00 p.m.**

**Roll Call**

Fuller, Henley, Primeau, McGuirk, Squattrito and Wagner were present. Mielke, Shingles, and Jankens were excused.

**Others Present**

Woody Woodruff, Margie Henry

**Approval of Minutes**

July 16, 2013 – regular meeting minutes

Change under Roll Call Shingles present not excused absent

**Primeau** moved **Wagner** supported to approve the July 16, 2013 meeting minutes as amended. **Ayes: all. Motion carried.**

**Correspondence**

No correspondence were offered

**Approval of Agenda**

**McGuirk** moved **Henley** supported to approve the agenda. **Ayes: all. Motion carried.**

**Public Comment**

No comments were offered

**NEW BUSINESS**

**1.) PPR – 1709: Preliminary review of Bamber Office Park Site Condominium. Owner: H&M Investment Properties LLC**

Tim Beebe explained the Bamber office park site to the Board. Woody Woodruff presented map layouts of the Bamber office park site. **Woodruff** pointed out corrections that are needed for the Final Plan: setbacks for units 6,9, 11, 12; 10' Sidewalk Easement on all units; no units to have access from Pickard Rd, unit 1 access at north end; Include any berms, screening or storm water easements outside boundaries to be show with Liber and Page. **Fuller** moved **McGuirk** supported to approve the preliminary review of Bamber office park site and send to the Board of Trustees for approval **Ayes: all. Motion carried.**

**OTHER BUSINESS**

- 1.) Woody Woodruff** informed the board that a notice for a public hearing on the Rental Ordinance had been published.

**Extended Public Comment**

No comments were offered

**Adjournment**

**The Chair adjourned the meeting at 7:50 p.m.**

**APPROVED BY:**

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**Alex Fuller, Secretary**

*(Recorded by Peter Gallinat)*

ADD THE FOLLOWING

3.23.E Dwelling, Boarding means a Rooming Dwelling without a common cooking facility for tenants, but where meals are provided by the proprietor of the Boarding Dwelling.

13.2. I.19 Rooming or Boarding Dwelling, Single Unit. See Section 30.4.AE

14.2.F.5 Rooming or Boarding Dwelling, Single Unit. See Section 30.4.AE

15.2.E.5 Rooming Dwelling, One or Two Unit. See Section 30.4.AE

16.2.E.5 Rooming Dwelling, One or Two Unit. See Section 30.4.AE

30.4.AE **Rooming Dwellings and Boarding Dwellings.** Rooming Dwellings or Boarding Dwellings for up to five occupants, regardless of familial status, or a single family plus two additional occupants may be permitted by Special Use. The two additional occupants may be related or unrelated to each other.

Applications for a Rooming Dwelling or Boarding Dwelling are reviewed by the Planning Commission with a public hearing and approved by the Township Board. The Township Board may approve occupancies of up to four unrelated persons in a Rooming Dwelling where conditions do not warrant five occupants. In all cases, the following conditions shall be met:

A) Parking: 4 parking spaces per unit shall be provided and designed such that no space is blocked by another vehicle, or otherwise require a vehicle to be moved to use the parking space. Additional parking spaces beyond 4 per unit may be created which require a vehicle to be moved to utilize the parking space. Parking spaces shall be constructed of gravel, asphalt, concrete or other durable hard surface and connected by similar hard surfaces to the driveway or entrance to the property. Where a garage is provided and counted as a parking space, it shall remain available for parking at all times. More than one parking area may be utilized to fulfill these requirements.

B) Bedrooms and bathrooms: A minimum of 3 bedrooms and one bathroom (toilet and bathing) per unit shall be provided. Bedrooms shall be a minimum 70 SF for a single occupant, and 100 SF for each additional occupant in the bedroom. When approved for five occupants, each unit so approved shall provide a minimum of one bathroom and a half bathroom (toilet only).

C) Open Spaces: No Rooming Dwelling or Boarding Dwelling shall be approved on a lot with less than the required lot area.

D) Common Entrance(s): All occupants of a Rooming Dwelling or Boarding Dwelling shall enter or exit the structure through one or more common entrances. Any entrance to the residence which creates a separate or exclusive living area, with or without sanitary or cooking facilities, shall be deemed to be an additional unit. One Unit Rooming Dwellings located in an R2 zoning district may convert the structure to a two unit Rooming Dwelling after an approved Special Use Permit for a Two Unit Rooming Dwelling has been issued. Three unit dwellings are not permitted in any R1 or R2 zone.

E) Revocation of Special Use Permit. The following may cause the Special Use Permit to be revoked after a Show Cause Hearing by the Planning Commission; failure to maintain the conditions placed on the special use contained in the approval, or failure to comply with the Union Township Rental Housing Code. The residence maybe occupied by no more than one single family per unit if the special use is revoked.

Cable Communications Consortium is able, energetic, and team-oriented. Access team as the Operations and Administrative. The Operations and Administrative under the supervision of the MMACCC, the daily operations of the MMACCC, employees at worksites, serve as Board and appropriate governmental legal counsel, service users, service administrative functions of the organization, to the MMACCC Board. For a composition go to the Consortium's website [org](http://www.mmaccc.org). Please submit your resume, cover letter; Kim Smith, MMACCC Chair, at 2010 Pleasant Michigan, Mt. Pleasant MI, 48859. Deadline is August 9, 2013. Opportunity Employer



**EDITORIAL SPECIALIST**

Provides administrative and technical support. Book review editor of The Michigan Historical Review. Bachelor's degree in English, History, or Journalism. 1 year experience. For a complete list of requirements and to apply on-line please visit [www.jobs.cmich.edu](http://www.jobs.cmich.edu)

**ADMINISTRATIVE SECRETARY**

Administrative Teaching. This will focus on clerical/administrative support functions to include: preparing communications, maintaining scheduling meetings, conferences, etc. Required: High School Education or equivalent work experience. For a complete list of requirements and to apply on-line by Friday, 8/11/2013, please visit [www.jobs.cmich.edu](http://www.jobs.cmich.edu)

**INTERNATIONAL SPECIALIST CLERK**

International Affairs. This position is responsible for the coordination of all Campus International Programs with all international student recruitment, admission, retention, graduation and alumni development. High School education or equivalent, 3 years work experience. For a complete list of requirements and to apply on-line by Friday, 8/11/2013 please visit [www.jobs.cmich.edu](http://www.jobs.cmich.edu)

Community involvement, strongly & actively strives to increase participation within its community (see [www.jobs.cmich.edu](http://www.jobs.cmich.edu)).

Announcements

1000 Announcements

**ANSWERS TO TODAY'S PUZZLE**

O	W	I	N	G	S	P	A	M	D	E	C	
A	R	N	E	R	A	I	R	E	D	A	L	E
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8/4/13

**UNION TOWNSHIP PUBLIC HEARING NOTICE  
ZONING TEXT AMENDMENT**

NOTICE is hereby given that a Public Hearing will be held on Tuesday, August 20, 2013, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following Zoning Ordinance text amendment:

**ADD THE FOLLOWING**

3.23.E Dwelling, Boarding means a Rooming Dwelling without a common cooking facility for tenants, but where meals are provided by the proprietor of the Boarding Dwelling.

13.2.1.19 Rooming or Boarding Dwelling, Single Unit. See Section 30.4.AE

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Any interested person may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Please contact the zoning administrator to make arrangements for accessibility and impairment concerns. Phone (989) 772 4600 extension 241.

William Woodruff  
Zoning Administrator

8/4

## Union Township Site Plan Review Application

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name Rowe Professional Services Company
- III. Applicant Address 127 S. Main St., Mt. Pleasant, MI 48858
- IV. Applicant Phone 989-772-2138 Owner \_\_\_\_\_
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner(skip 5& 6)  
Other \_\_\_\_\_
- VI. Land Owner Name Mid Michigan Community College
- VII. Land Owner Address 2600 S. Summerton Rd., Mt. Pleasant, MI
- VIII. Project/Business Name MMCC - New Tech Center
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area (for example, under sidewalks write "none" in the comment area if you are not installing any sidewalks). For the first three items, check off if you have made the required submittals to other reviewing agencies.

P = Pending

SUBMITTALS TO OTHER AGENCIES	✓ Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	P	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	N/A	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	P	Sgt Rick Beltnick (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	P	Denny Adams (989) 773 2913 Ext 106, (2) copies
SITE PLAN REQUIREMENTS	✓ Off	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u>	✓	OK
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	✓	OK
The <u>date</u> , <u>north arrow</u> and <u>scale</u> . The scale shall be not less than 1"=20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓	OK



## Union Township Site Plan Review Application

All lot and/or <u>property lines</u> are to be shown and dimensioned, including building setback lines	✓	OK
The location and dimensions of all existing and proposed: <u>fire hydrants</u> (within 400 feet of building) - - - - - <u>drives</u> , - - - - - <u>sidewalks</u> , (required ) - - - - - <u>curb openings</u> , - - - - - <u>acceleration/deceleration lanes</u> , - - - - - <u>signs</u> , - - - - - <u>exterior lighting</u> on buildings and parking lots, - - <u>parking areas</u> (Including handicapped parking spaces, barrier-free building access, unloading areas), - - - - - <u>recreation areas</u> , - - - - - <u>common use areas</u> , - - - - - areas to be conveyed for public use and purpose. -	✓ ✓ ✓ ✓ N/A ✓ ✓ ✓ N/A N/A	OK OK OK OK OK OK OK OK OK OK OK
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	OK
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.  <div style="text-align: center;">OK</div>	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department (773 5921)
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	OK
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	OK
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	OK
The zoning of the subject property and the abutting properties.	✓	OK - B3
The location, height and type of fences and walls.	✓	OK

## Union Township Site Plan Review Application

The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	✓	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	N/A	

### COMMENTS


I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

Stave Tewari

Signature of Applicant

8-1-13

Date

Bill Whitman

Signature of Owner (if other than applicant)

8-1-13

Date

PLEASE PLACE OUR REVIEW ON THE 8-20-13 (INSERT DATE)  
 PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You  
 will not receive a reminder of the scheduled meeting.

# Union Township Site Plan Review Application

Township use _____	Comments <u>MPFD Letter on 8/19,</u>
File # <u>176</u>	<u>all looks good</u>
Fee Paid initial <u>UTW</u>	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	

# MEMO

DATE: August 16, 2013

TO: Woody Woodruff  
Union Township Zoning Administrator

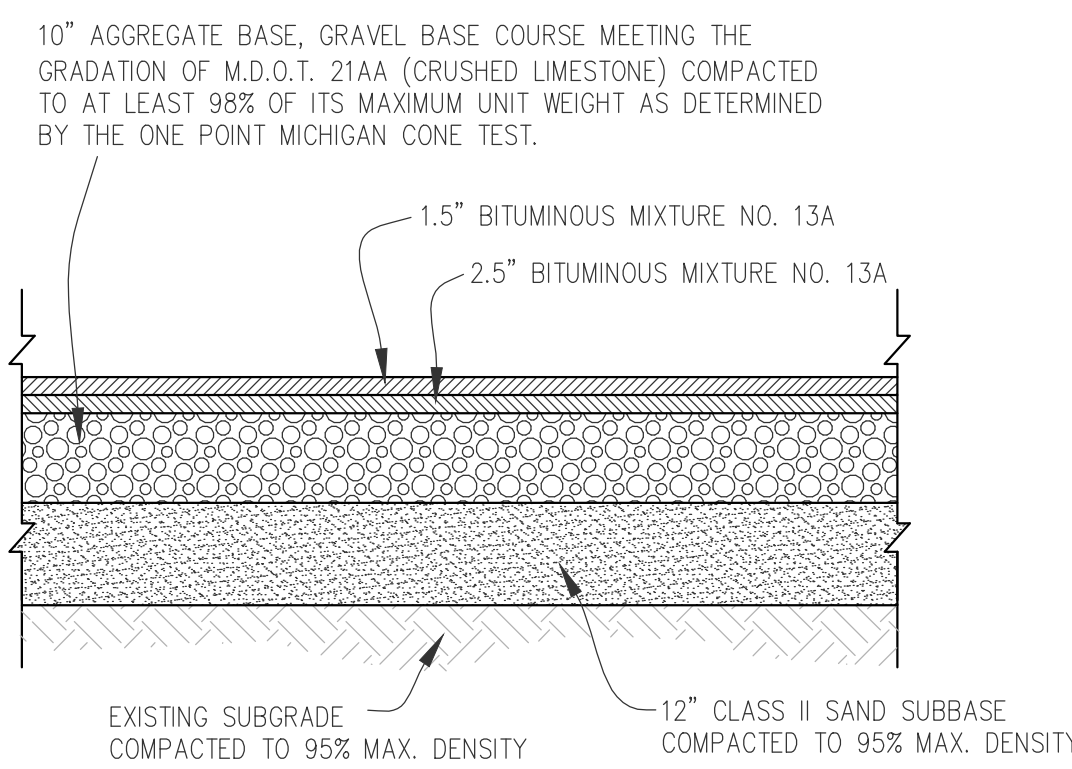
FROM: Dennis M. Adams  
ICTC Director of Marketing and Public Relations

RE: MMCC Mt Pleasant Tech Center

After review of the site plans for the Mid Michigan Community College new Tech Center building project, ICTC finds no issues that would change our provision of public transit services to MMCC.

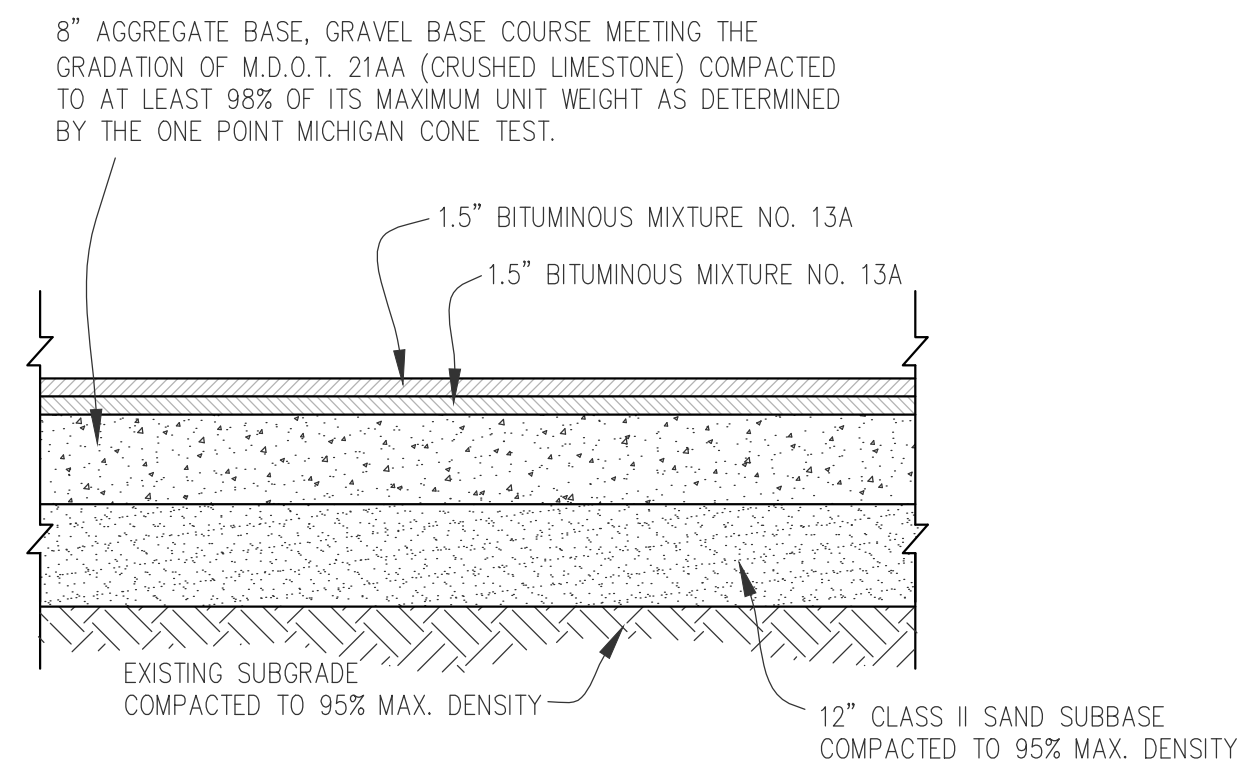
With the completion of the new classroom building at MMCC, Mt. Pleasant, all bus service will originate and drop passengers at a shelter location off Broadway, before Summerton, near the northwest corner of this new building. Therefore ICTC has no issues with this newest building. However, the new Tech Center plans do not, at this time, have an accessible drive for a public transit vehicle should there come a time when more direct services are required.





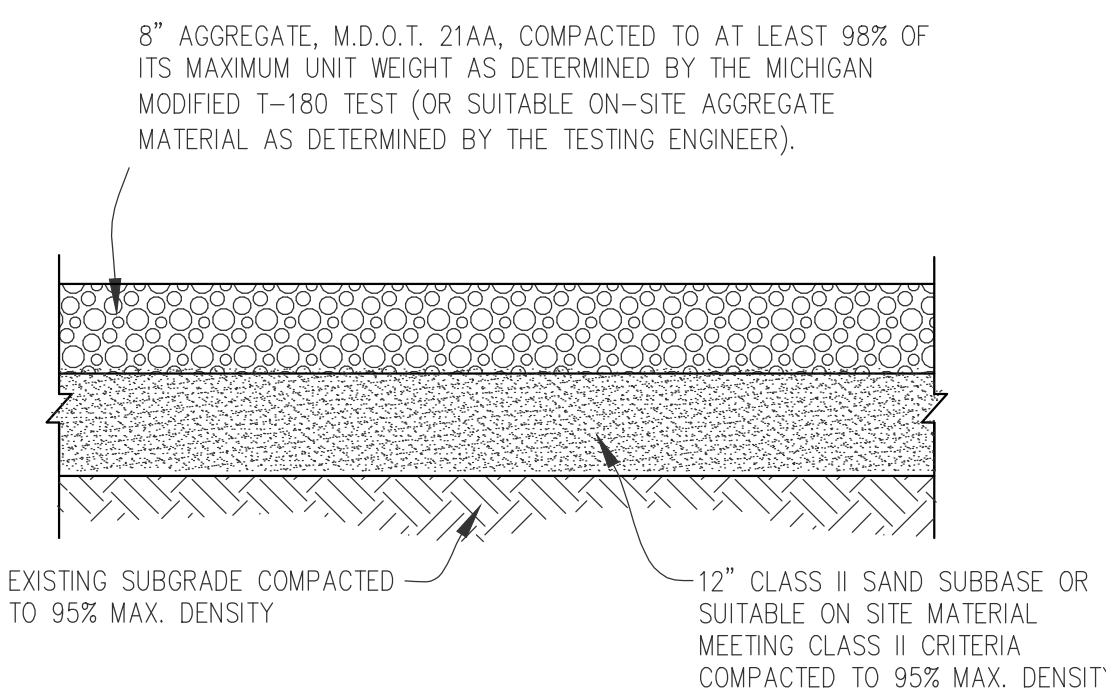
NOTE: SITE SUBGRADE SHALL BE PREPARED BASED ON THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

**TRUCK ROUTE CROSS SECTION**  
 NOT TO SCALE



NOTE: SITE SUBGRADE SHALL BE PREPARED BASED ON THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

**PARKING LOT CROSS SECTION**  
 NOT TO SCALE

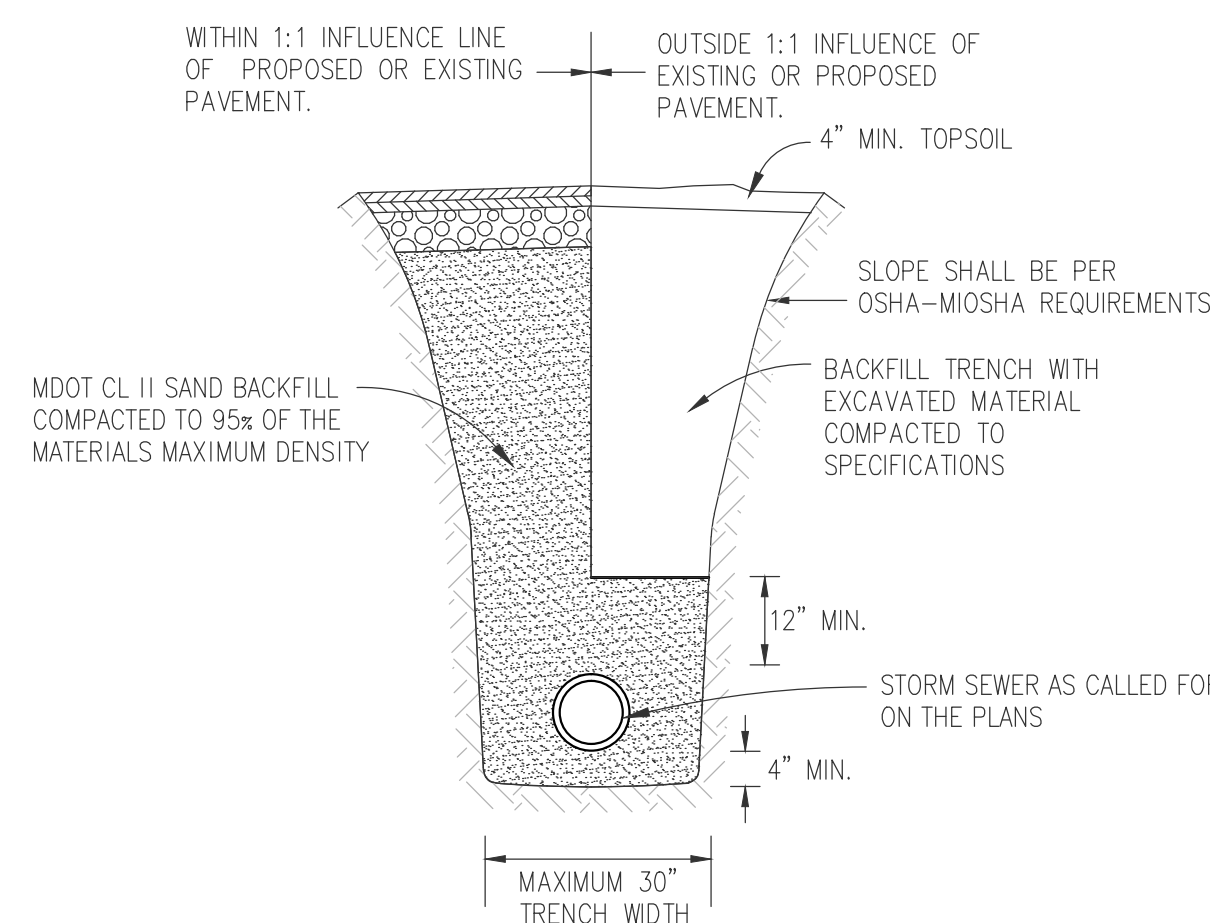


**GRAVEL CROSS SECTION**  
 NOT TO SCALE

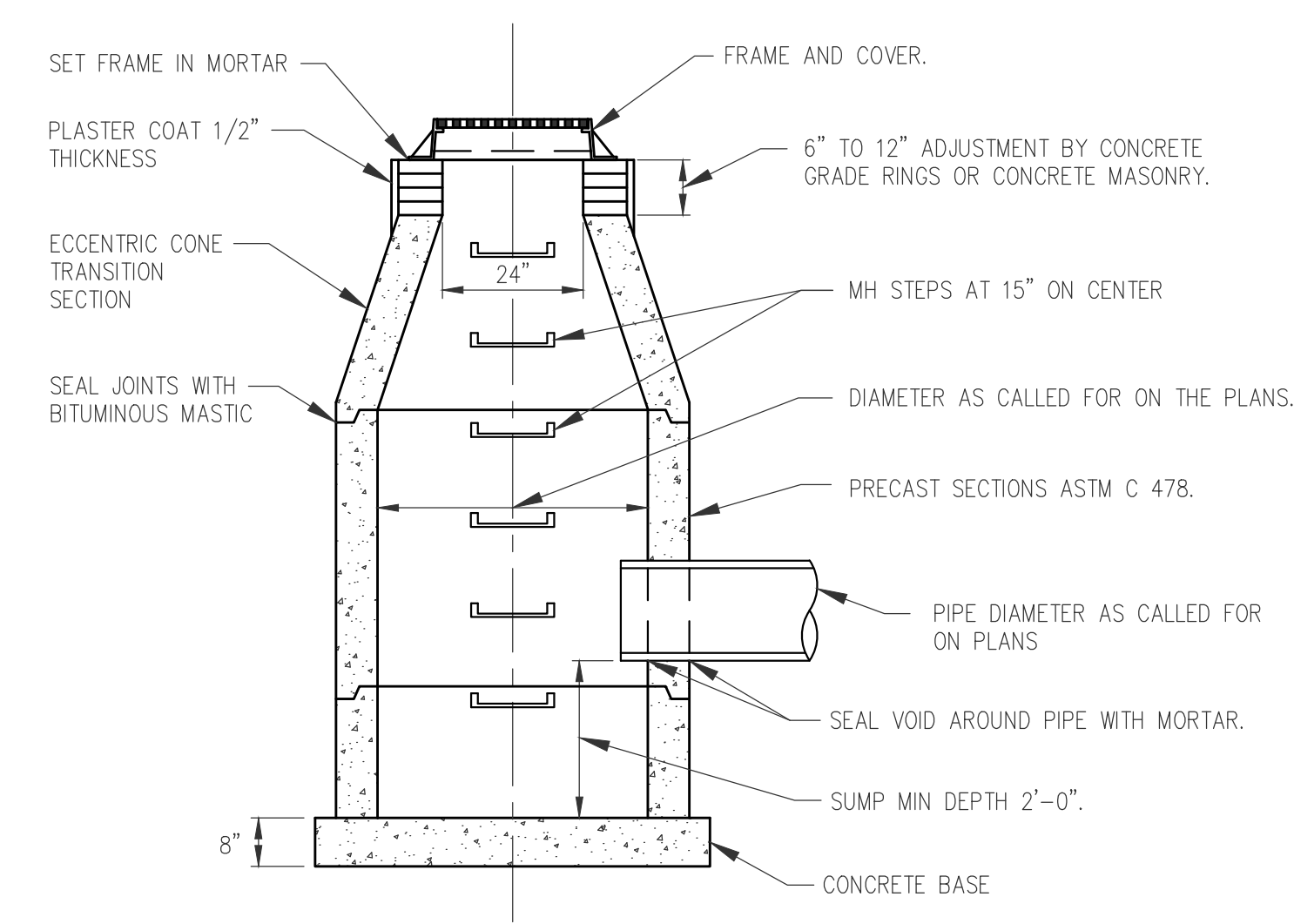
**GENERAL CIVIL LEGEND**

○ = SET MONUMENT	○ = WELL
■ = FOUND MONUMENT	⊕ = WATER FAUCET
• = SET PK NAIL	⊖ = DOWN SPOUT
● = FOUND IRON	○ = CLEAN OUT
⊕ = LIGHT POLE	⊕ = SIGN
⊖ = POWER POLE	⊕ = FLAG POLE
○ = MANHOLE	⊕ = ROCK
△ = HANDHOLE	FF = FIRST FLOOR ELEVATION
⊕ = MAIL BOX	---
⊕ = GUY WIRE	---
⊕ = ROAD SIGN	---
⊕ = GAS METER	---
⊕ = HYDRANT	---
⊕ = WATER VALVE BOX	---
⊕ = SPRINKLER HEAD	---
⊕ = MONITORING WELL	---
⊕ = ROUND CATCH BASIN	---
⊕ = INLET	---
⊕ = TELEPHONE RISER	---
⊕ = AIR CONDITION UNIT	---
⊕ = METAL LIGHT POLE	---
⊕ = FLOOD LIGHT	---
⊕ = ELECTRICAL OUTLET	---
⊕ = POWER POLE	---
⊕ = ELECTRICAL PAD	---
⊕ = ELECTRICAL METER	---
⊕ = ELECTRICAL PANELS	---
⊕ = FLAG "UNDERGROUND UTILITY"	---
⊕ = STUMP	---
FF = FIRST FLOOR ELEVATION	---

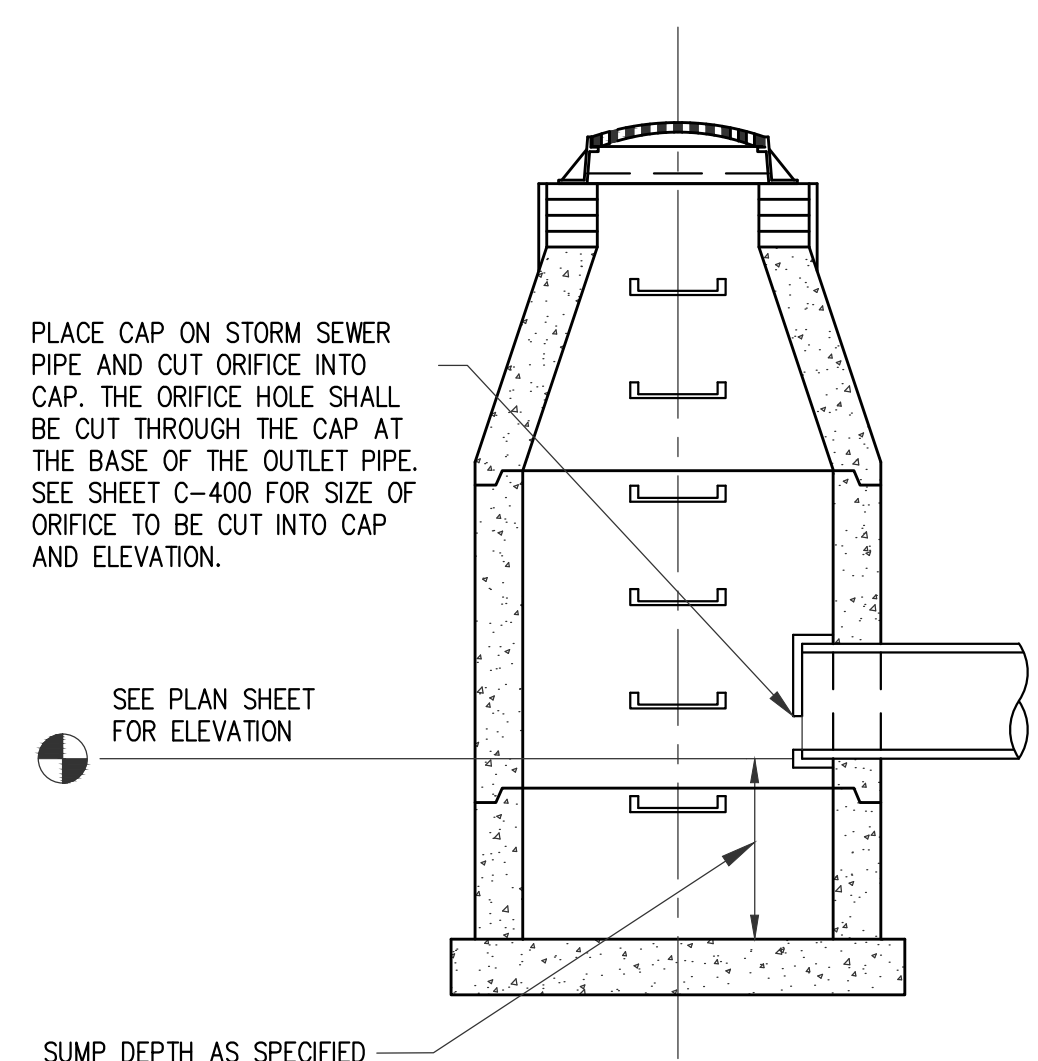
DATE ISSUED  
 DRAWN BY  
 DMB  
 CHECKED BY  
 SAT



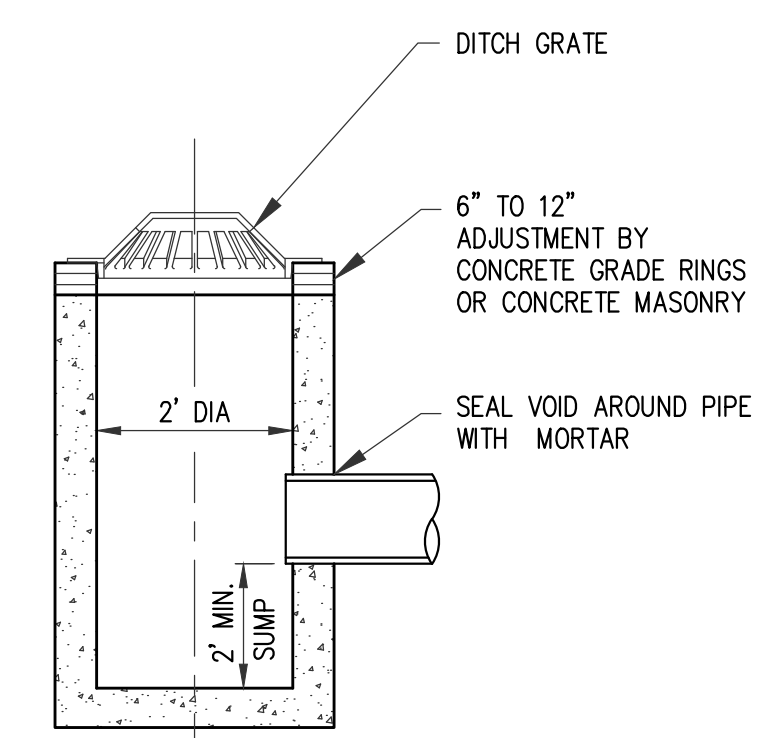
**STORM SEWER BEDDING DETAIL**  
 NOT TO SCALE



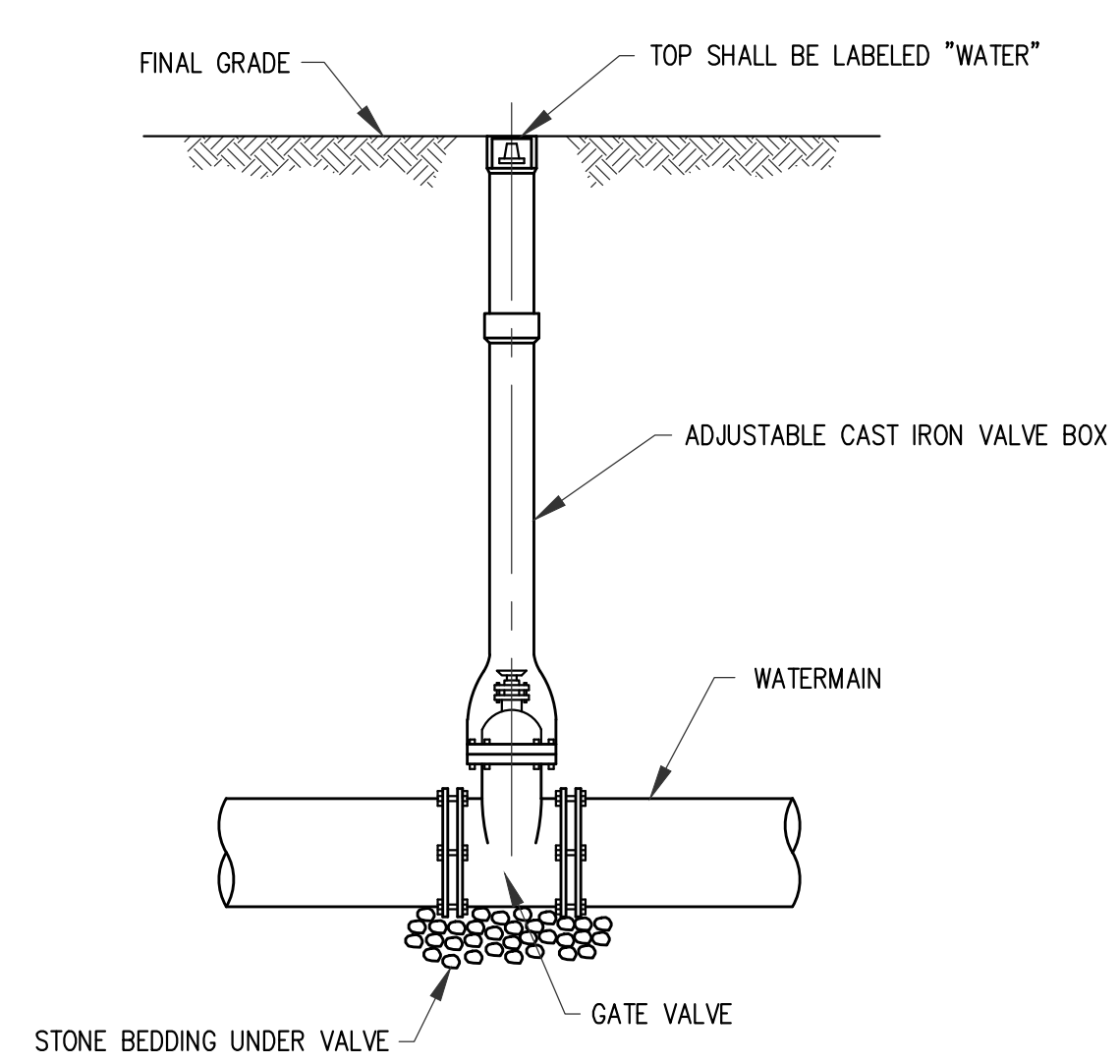
**STANDARD DRAINAGE STRUCTURE WITH 2' SUMP**  
 NOT TO SCALE



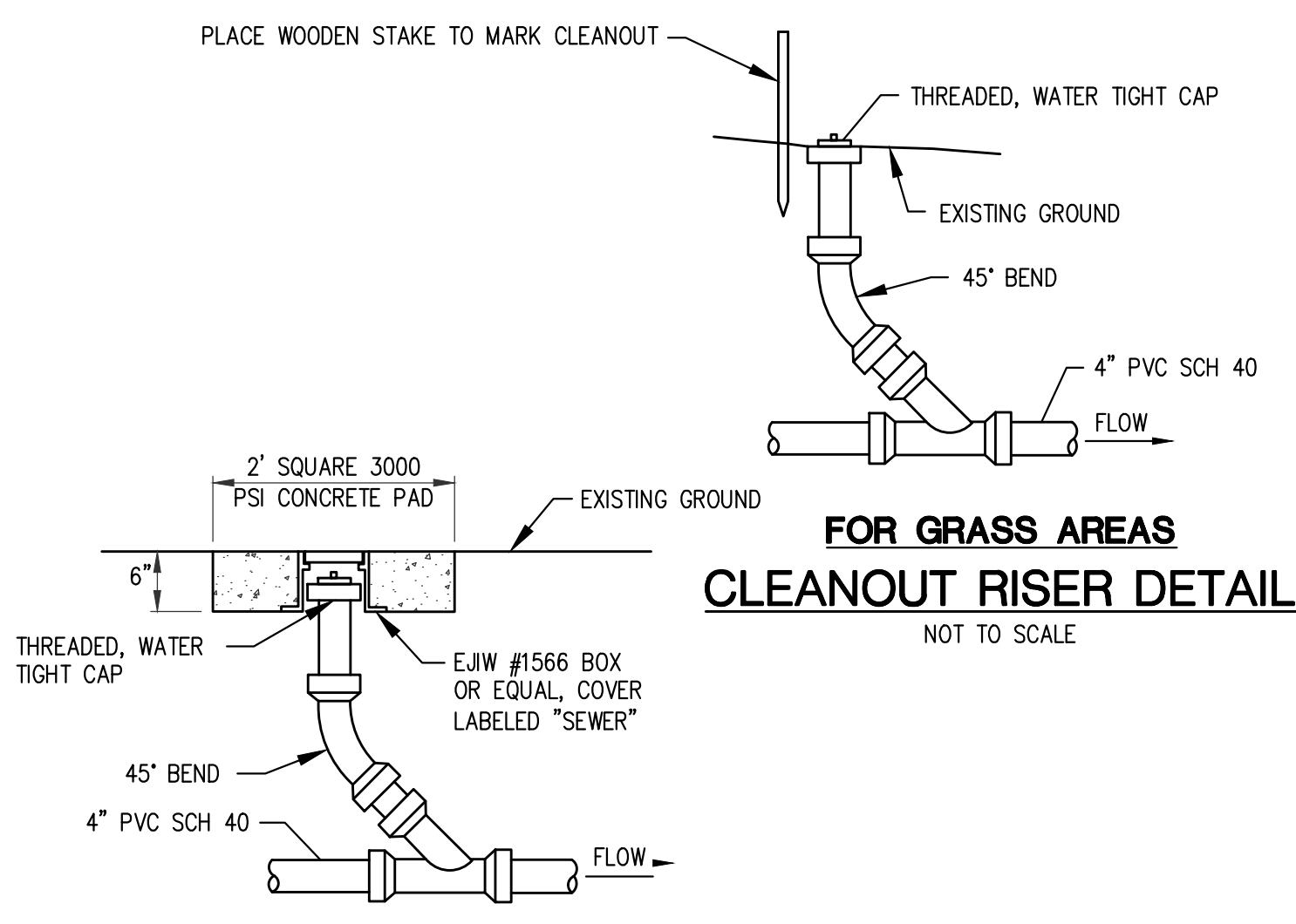
**ORIFICE DETAIL**  
 NOT TO SCALE



**2' DIA DRAINAGE STRUCTURE W/2' SUMP**  
 NOT TO SCALE

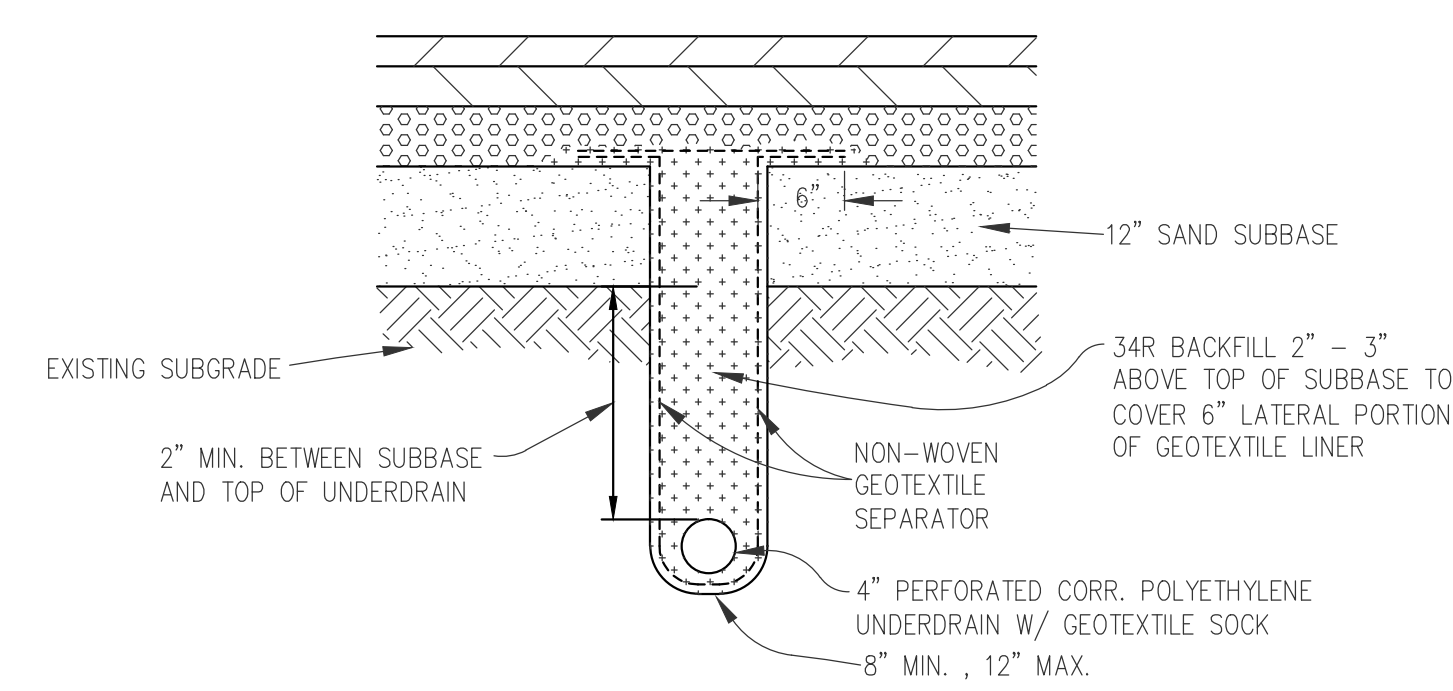


**WATER VALVE AND BOX DETAIL**  
 NOT TO SCALE



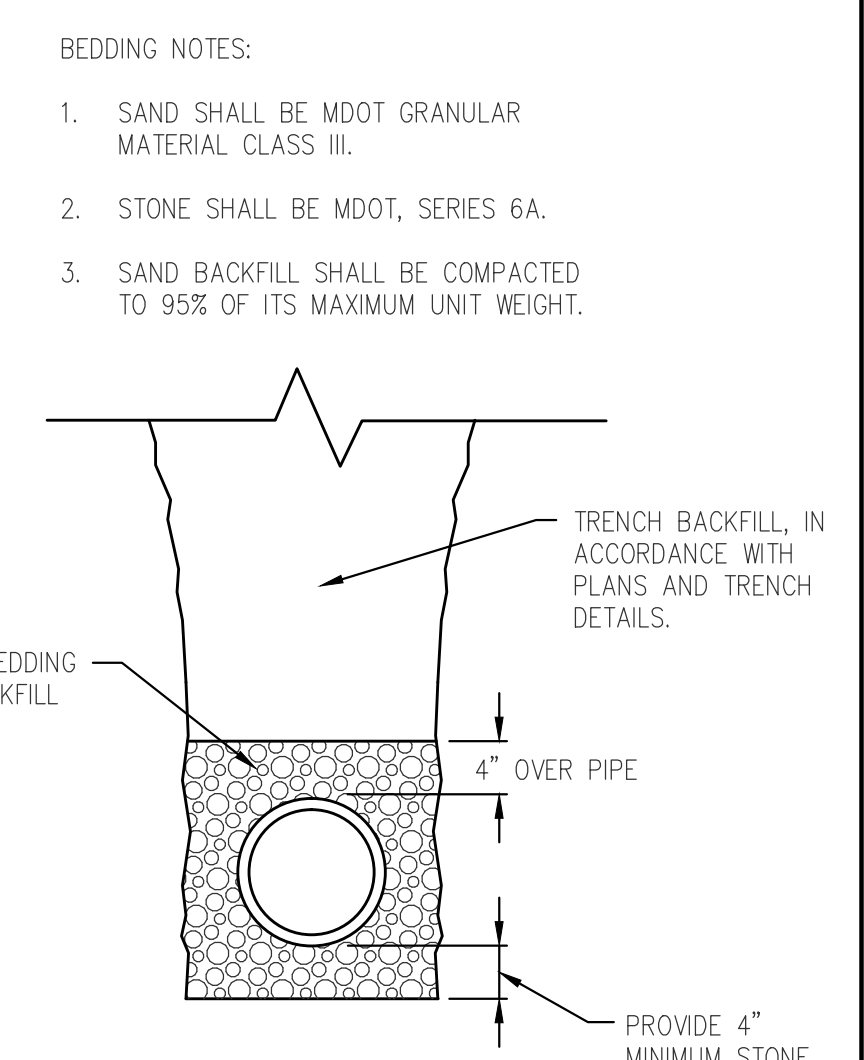
**FOR GRASS AREAS CLEANOUT RISER DETAIL**  
 NOT TO SCALE

**FOR PAVEMENT AREAS CLEANOUT RISER DETAIL**  
 NOT TO SCALE



**PAVEMENT UNDERDRAIN TRENCH DETAIL**  
 N.T.S.

NOTE: FOUR 20' LONG FINGER DRAINS SHALL BE INSTALLED AT ALL CATCH BASINS WITHIN PAVEMENT AREAS



**SANITARY SEWER BEDDING DETAIL**  
 NOT TO SCALE

- BEDDING NOTES:
- SAND SHALL BE MDOT GRANULAR MATERIAL CLASS III.
  - STONE SHALL BE MDOT, SERIES 6A.
  - SAND BACKFILL SHALL BE COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.

**HOBBS + BLACK ARCHITECTS**  
 117 E. Allegan Street  
 Lansing, MI 48933  
 P: 517.484.4870  
 www.hobbs-black.com

Mid Michigan Community College  
 NEW TECH CENTER  
 MOUNT PLEASANT CAMPUS

PROJECT

ROWE PROFESSIONAL SERVICES COMPANY  
 127 S. Main Street  
 Mt. Pleasant, MI 48858  
 O: (989) 772-2138  
 F: (989) 773-7757

CONSULTANT

DETAILS

SHEET TITLE

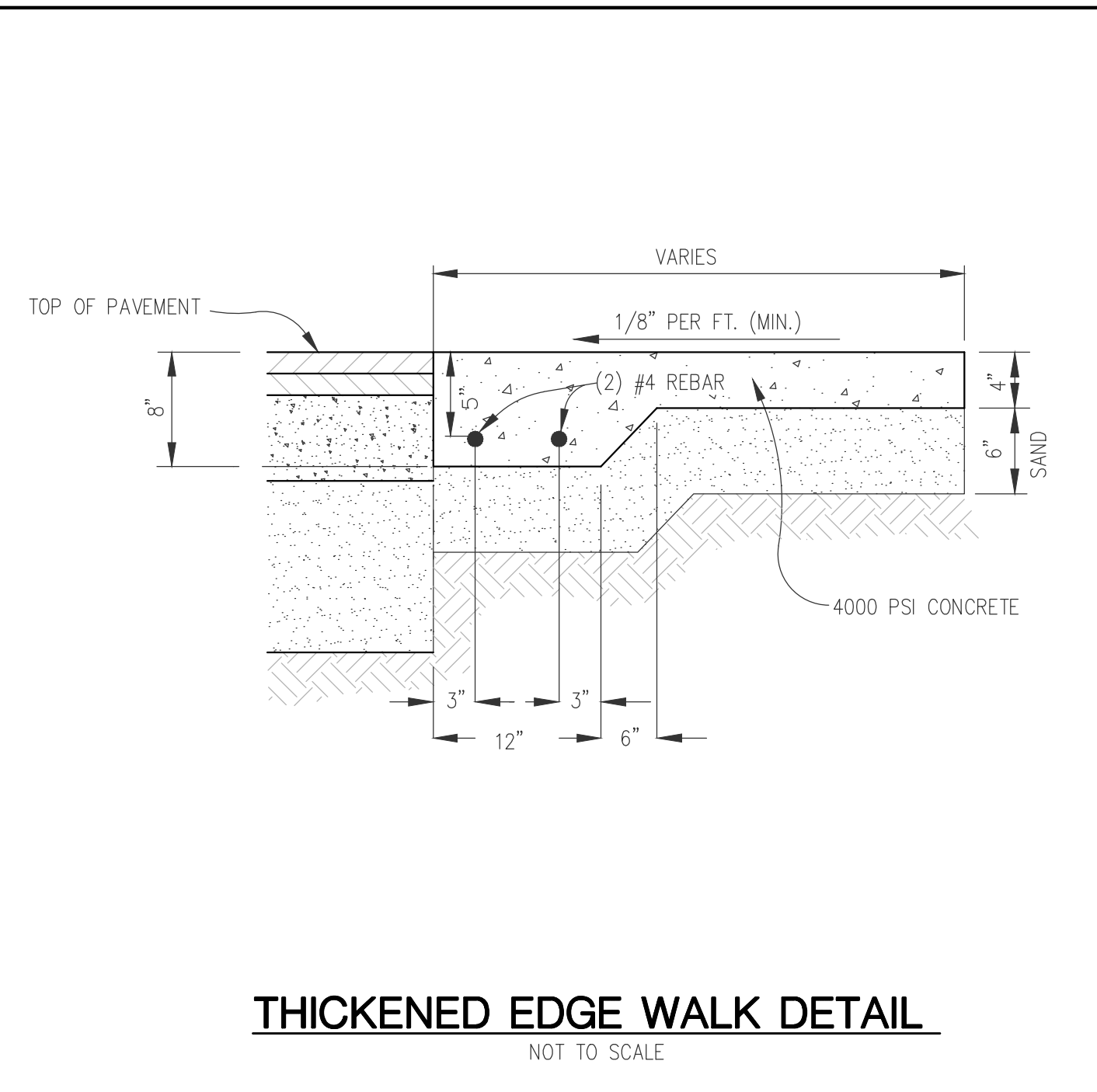
12-718

PROJECT NUMBER

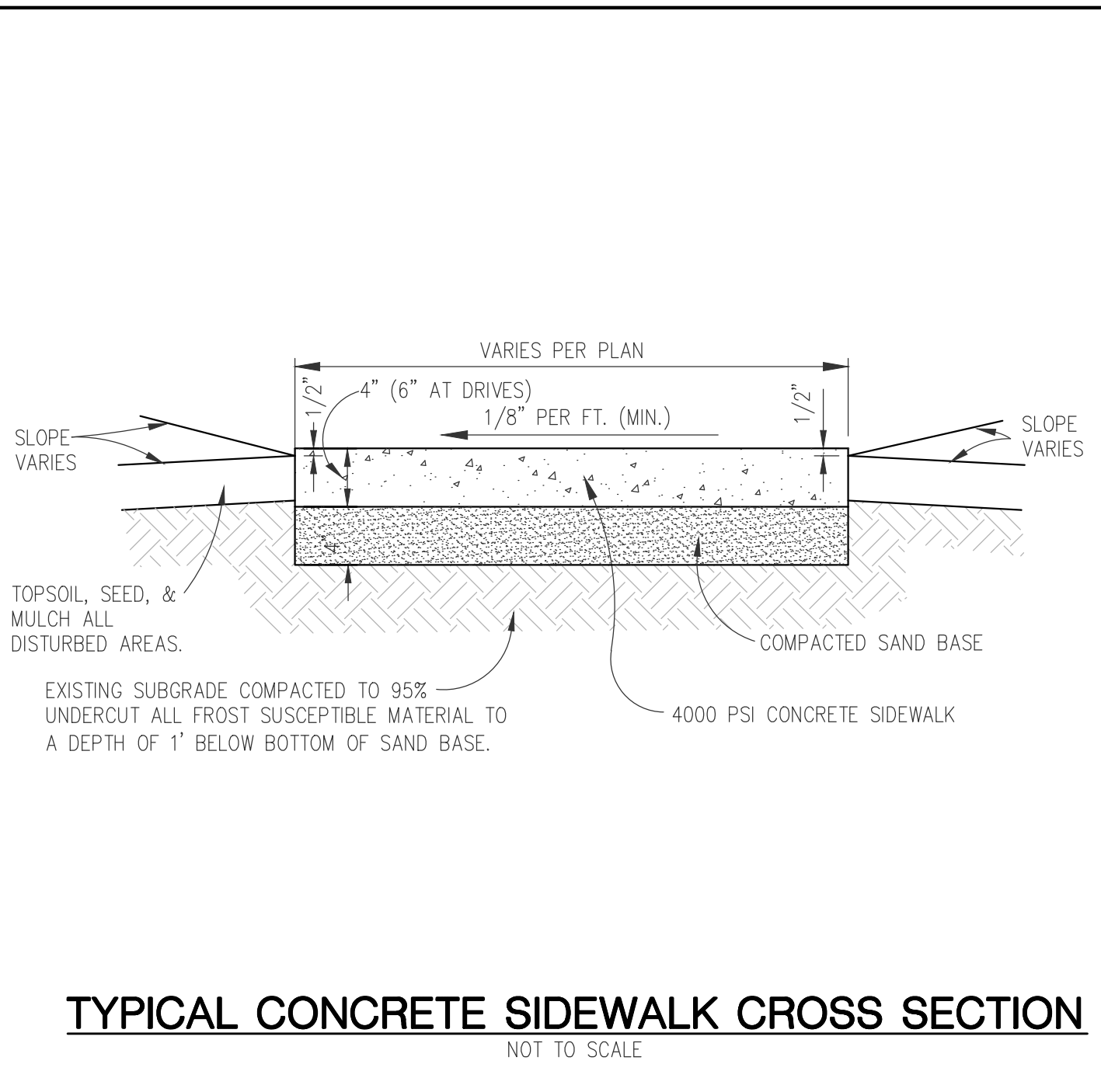
C-200

SHEET NUMBER

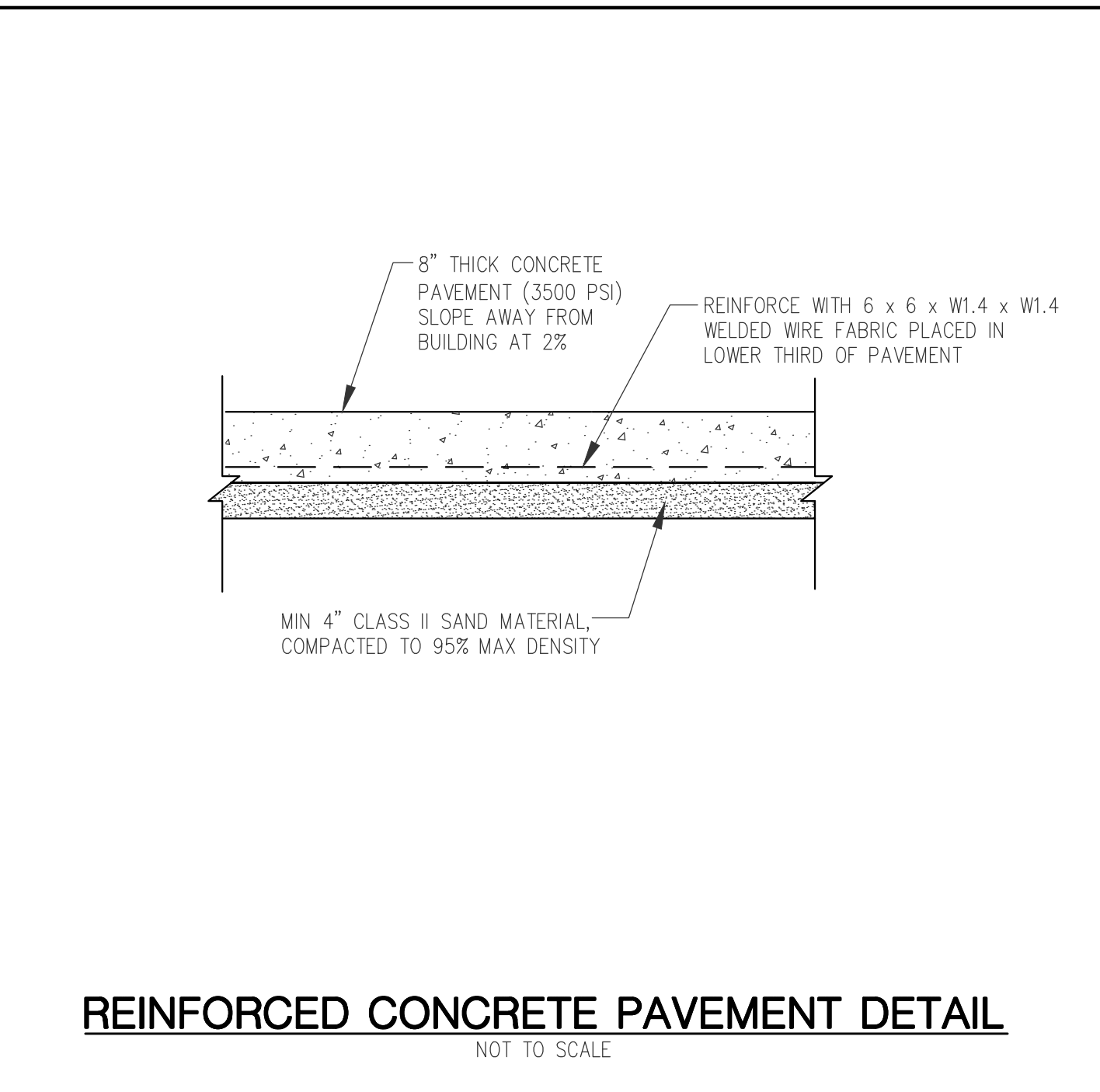
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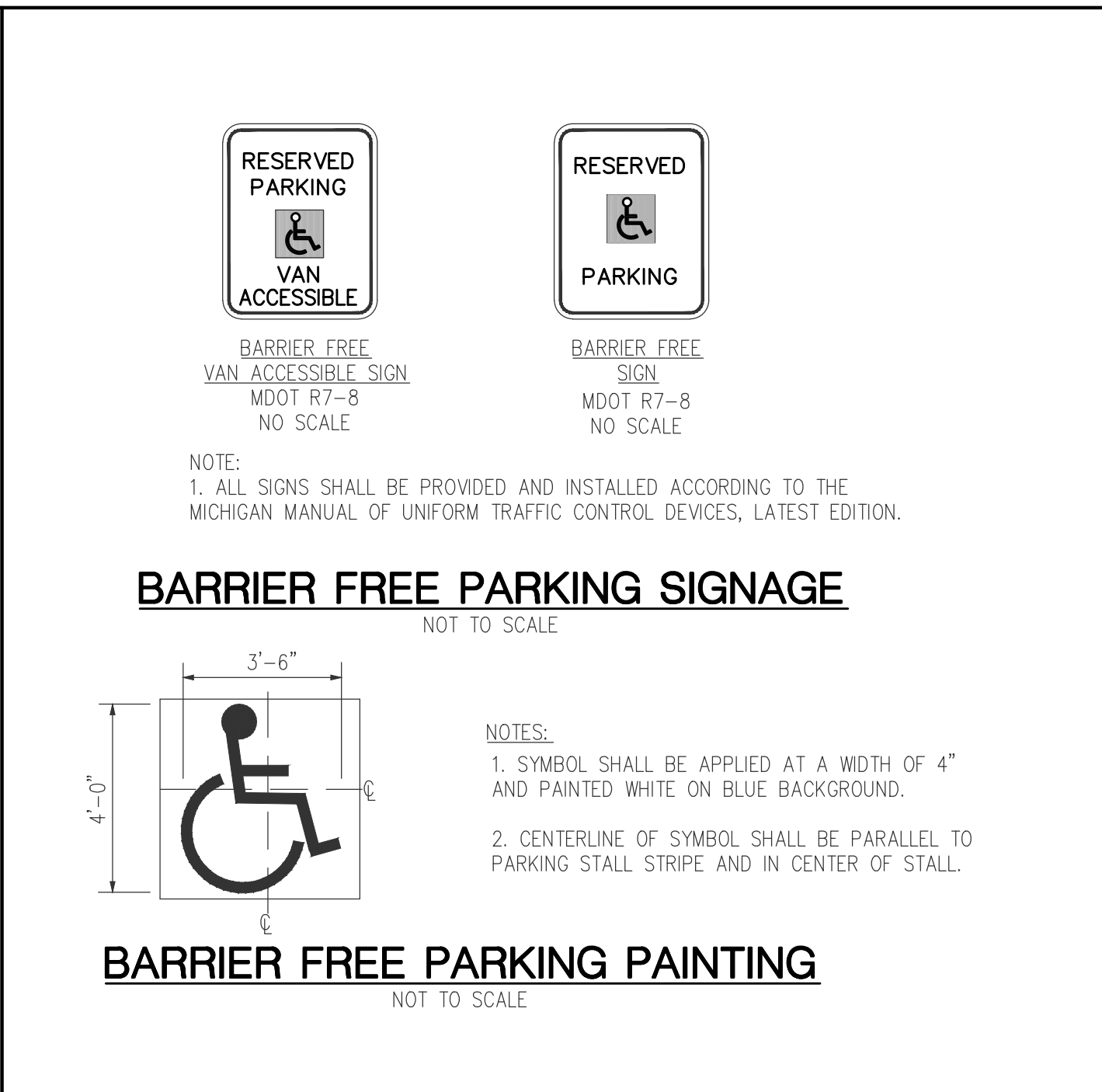
**THICKENED EDGE WALK DETAIL**  
 NOT TO SCALE



**TYPICAL CONCRETE SIDEWALK CROSS SECTION**  
 NOT TO SCALE



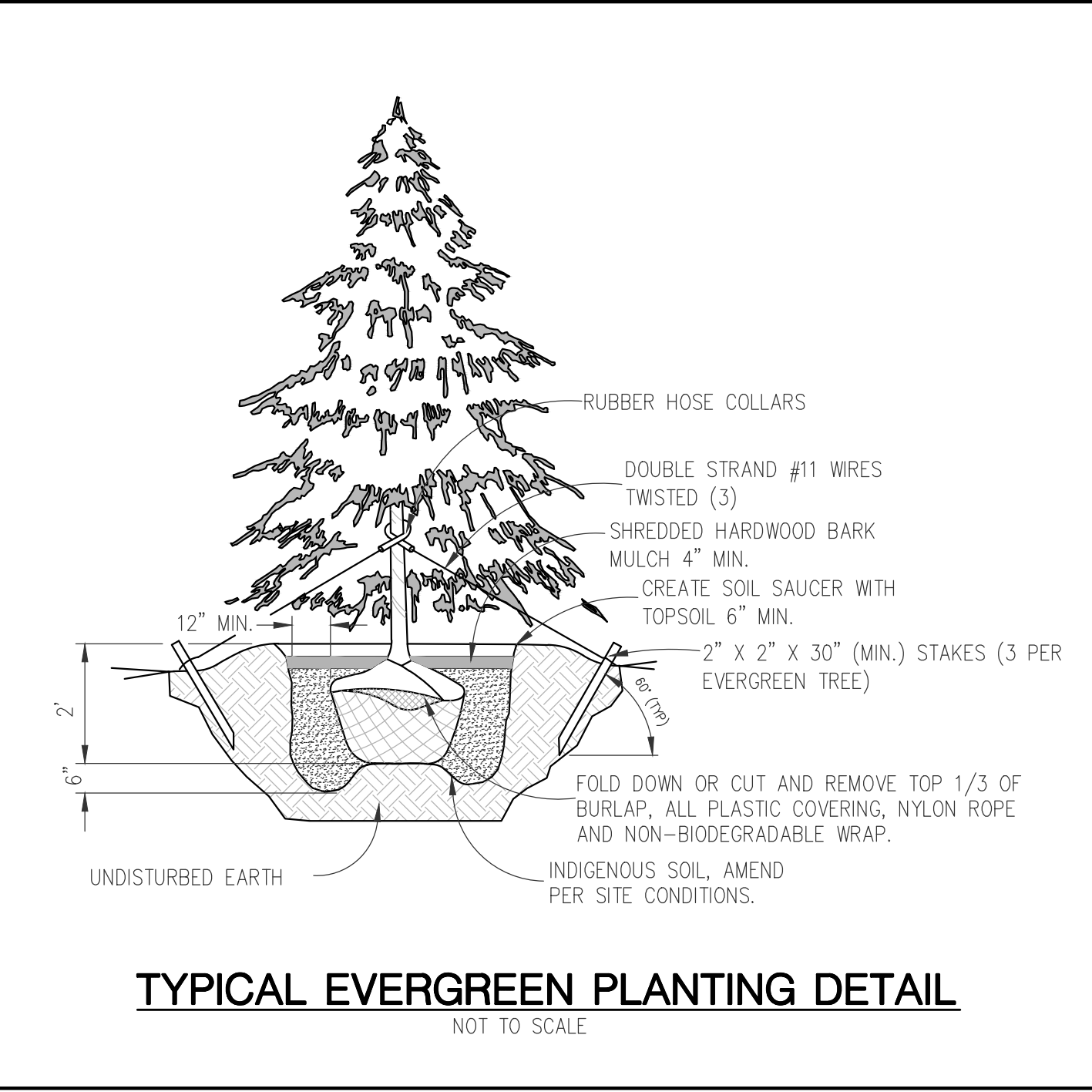
**REINFORCED CONCRETE PAVEMENT DETAIL**  
 NOT TO SCALE



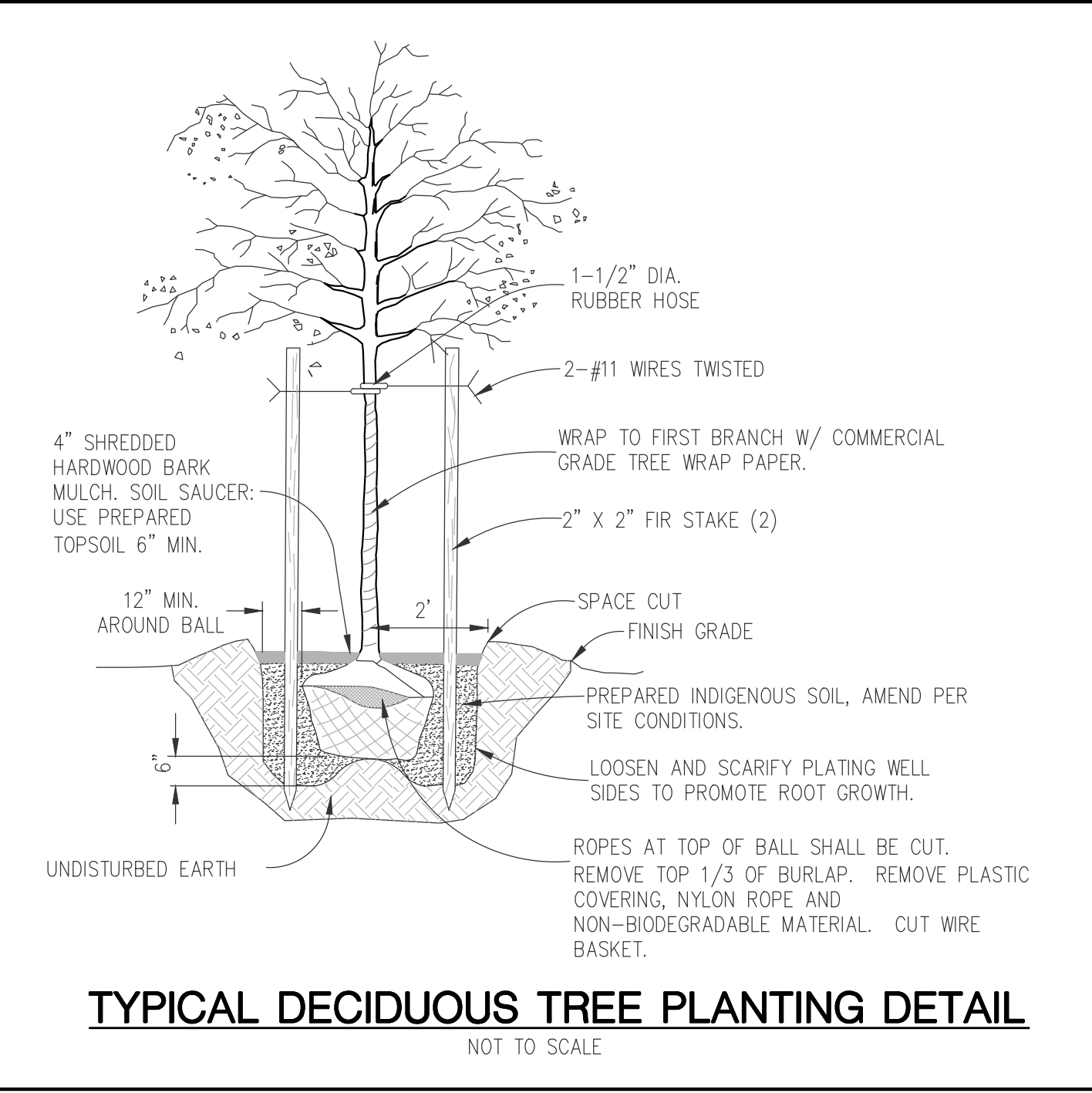
**BARRIER FREE PARKING SIGNAGE**  
 NOT TO SCALE

**BARRIER FREE PARKING PAINTING**  
 NOT TO SCALE

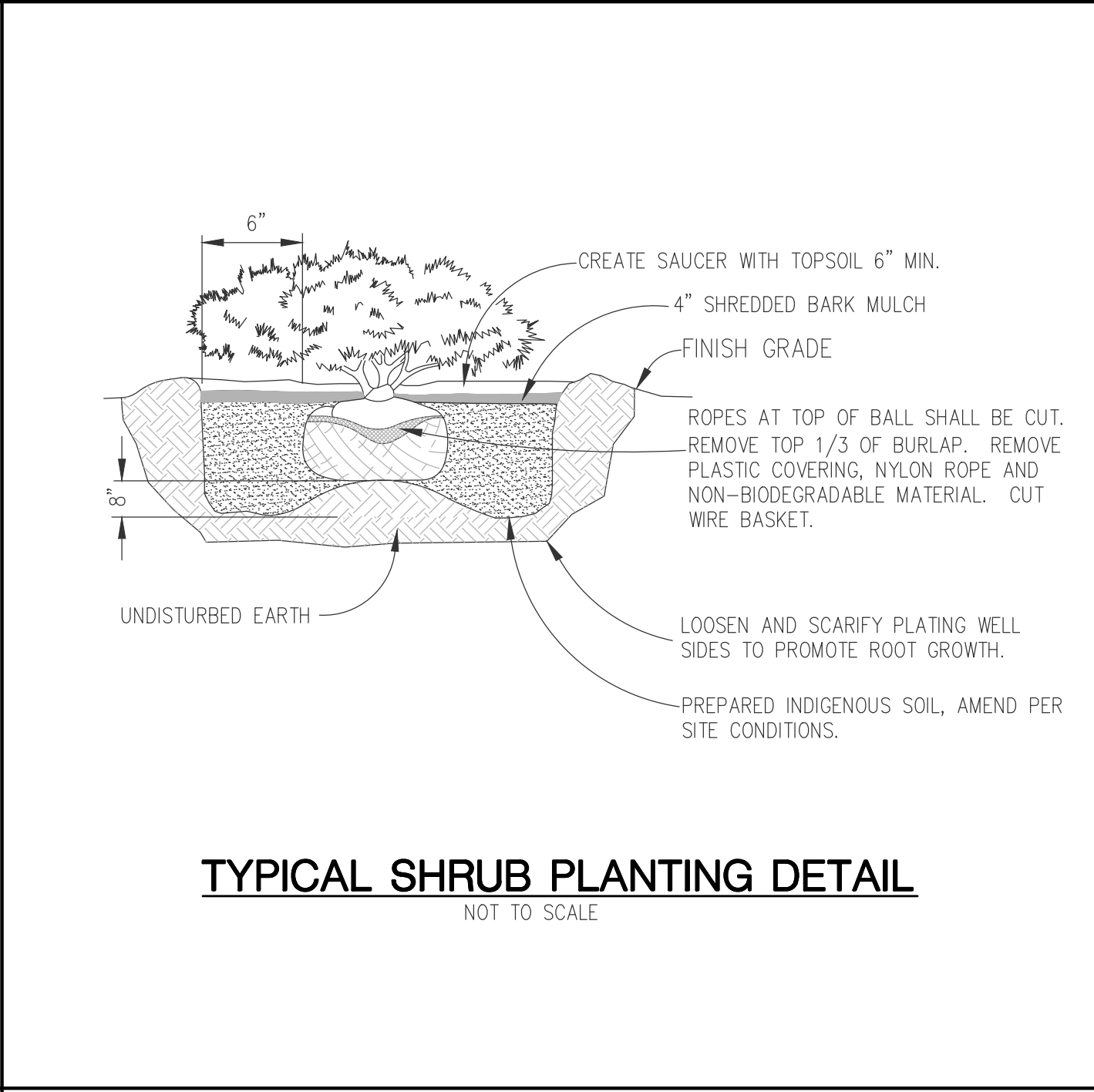
**Landscaping Requirements:**  
 -The distance from the Right-of-Way (ROW) should have 30 square feet of landscaping/parking space.  
 -With 10 or more spaces, interior landscape shall be included.  
 -1 tree unit is equal to one evergreen/one deciduous tree or 3 shrubs.  
 -Plant material other than groundcover up to three (3) feet in height shall not be placed closer than four (4) feet from the property line.  
 -Where plant materials are placed in two (2) or more rows, plantings shall be staggered in rows.



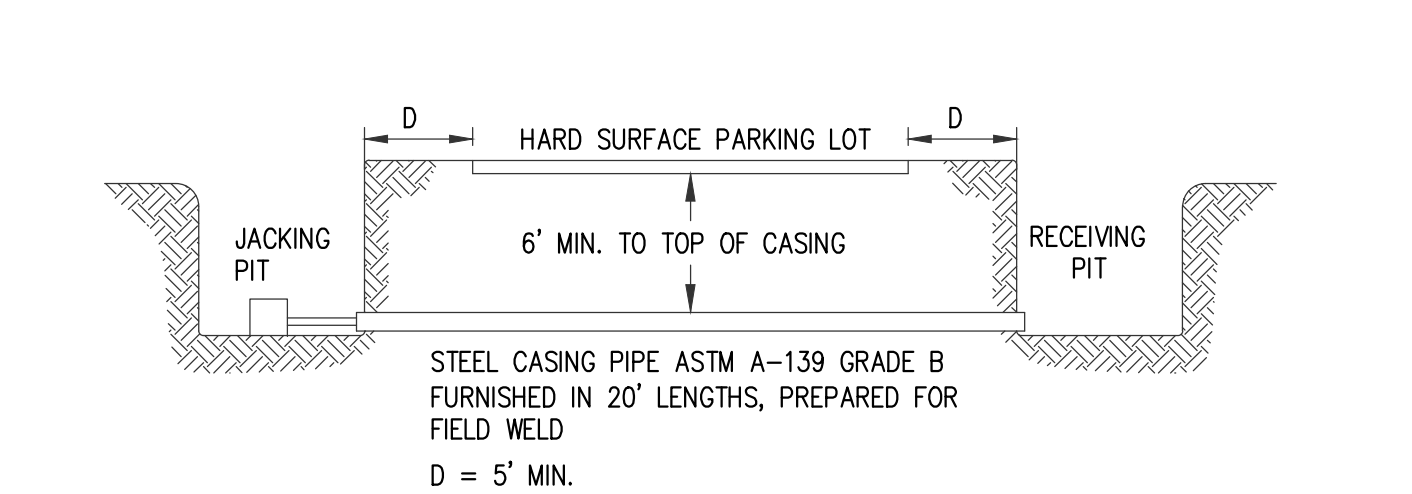
**TYPICAL EVERGREEN PLANTING DETAIL**  
 NOT TO SCALE



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
 NOT TO SCALE



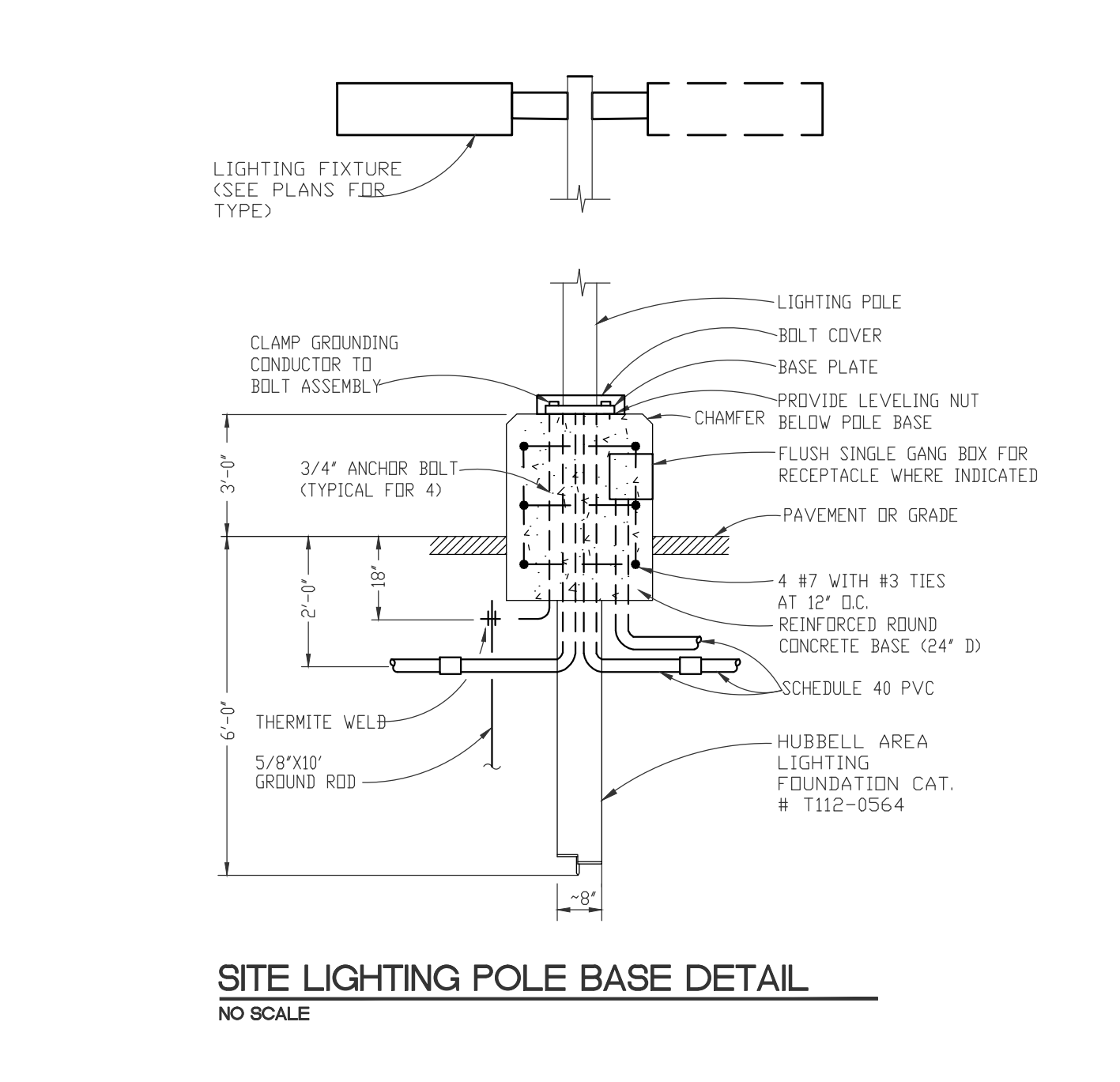
**TYPICAL SHRUB PLANTING DETAIL**  
 NOT TO SCALE



- NOTES**
1. ALL BORING AND JACKING OPERATIONS WITHIN THE CITY OF MIDLAND R.O.W. WILL REQUIRE DEPARTMENT APPROVAL AND THE COMPLETION OF A PERMIT FORM.
  2. THE CONTRACTOR SHALL ABIDE BY ALL MIOSHA SAFETY PRECAUTIONS INCLUDING BARRICADING PER THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  3. THE CONTRACTOR SHALL PROTECT AND/OR RESTORE ALL PROPERTY WITHIN DISTURBED AREA.
  4. THE CONTRACTOR SHALL ABIDE BY ALL PERTINENT STANDARDS FOR WATER MAIN INSTALLATION.
  5. THE SHEETING OF THE FRONT FACE OF THE BORING PIT WILL BE REQUIRED IF UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED.
  6. THE CASING PIPE MUST ALWAYS PRECEDE THE AUGER HEAD.
  7. THE CONTRACTOR SHALL NOTIFY THE PERMITTING AGENT 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
  8. A WOOD SKID AND METAL BAND MUST BE INSTALLED AT ALL JOINTS TO MAINTAIN ALIGNMENT.
  9. VOID BETWEEN CARRIER PIPE AND CASING SHALL BE FILLED WITH CEMENT OR SAND FILL AND ENDS CAPPED.

SIZE AND MATERIAL	MIN. CASING DIA. O.D. INCHES	MIN. WALL THICKNESS INCHES
8" D.I. WATERMAIN OR SMALLER	12.75	0.375
6" SANITARY SEWER V.C.P. OR P.V.C.	12.75	0.375
10"-12" D.I. WATERMAIN	20.00	0.375
8"-10" SANITARY SEWER	20.00	0.375
16" D.I. WATERMAIN	24.00	0.375
12"-15" SANITARY SEWER	24.00	0.375
20"-24" D.I. WATERMAIN	30.00	0.406
18" SANITARY SEWER CONC.	30.00	0.406
21"-24" SANITARY SEWER CONC.	36.00	0.469

**BORE AND JACK CONSTRUCTION**  
 N.T.S.



**SITE LIGHTING POLE BASE DETAIL**  
 NO SCALE

- LANDSCAPE NOTES:**
1. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF THESE SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  2. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
  3. CONTRACTOR WILL SUPPLY FINISH GRADE AND EXCAVATE AS NECESSARY TO SUPPLY A MINIMUM 4" SHREDDED BARK MULCH IN ALL PLANTING BEDS AND 3" TOPSOIL IN ALL LAWN AREAS UNLESS NOTED OTHERWISE.
  4. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY VIGOROUS CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE OWNER'S REP. DURING AND AT THE END OF THE GUARANTEE PERIOD.
  5. ALL PLANT MATERIAL AND PLANTINGS SHALL CONFORM TO ANSI 260.1 OR CURRENT EDITION.
  6. AREAS NOT SPECIFIED WITH PLANT MATERIAL SHALL BE FINE GRADED AND SEEDED FOR TURF ESTABLISHMENT.
  7. WHERE A DISCREPANCY IS FOUND BETWEEN EXISTING FIELD CONDITIONS AND/OR REQUIRED LANDSCAPING WORK, NOTIFY CONSTRUCTION MANAGER FOR CLARIFICATION IMMEDIATELY.
  8. ALL LAYOUT IS TO BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.
  9. ALL EXCESS EXCAVATED MATERIALS AND DEBRIS, WHICH ARE NOT ACCEPTED FOR DISPOSAL ON SITE BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF LEGALLY OFF SITE.
  10. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, RADII, AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION. ANY DAMAGE TO EXISTING LANDSCAPING SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  11. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
  12. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
  13. ALL TREES TO RECEIVE A 6' DIAMETER MULCH RING

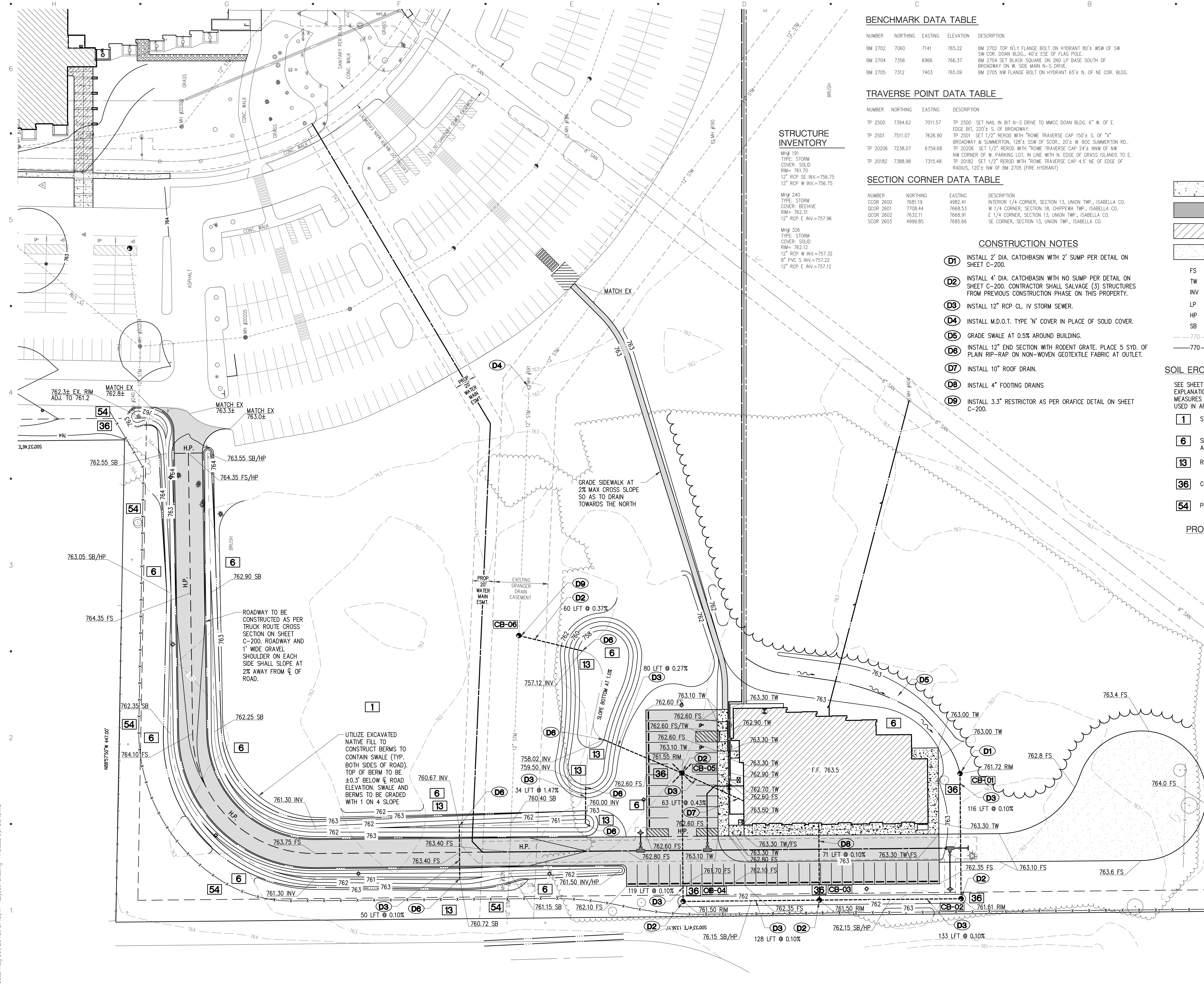
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PROJECT \_\_\_\_\_  
 CONSULTANT \_\_\_\_\_  
 DETAILS \_\_\_\_\_  
 SHEET TITLE \_\_\_\_\_  
 12-718 \_\_\_\_\_  
 PROJECT NUMBER \_\_\_\_\_  
 C-300 \_\_\_\_\_  
 SHEET NUMBER \_\_\_\_\_



**BENCHMARK DATA TABLE**

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 2702	7060	7141	765.22	BM 2702 TOP NLY FLANGE BOLT ON HYDRANT 80± WSW OF SW COR. DOAN BLDG., 40± ESE OF FLAG POLE
BM 2704	7356	6966	766.37	BM 2704 SET BLACK SQUARE ON 2ND LP BASE SOUTH OF BROADWAY ON W. SIDE MAIN N-S DRIVE.
BM 2705	7312	7403	765.09	BM 2705 NW FLANGE BOLT ON HYDRANT 65± N. OF NE COR. BLDG.

**TRAVERSE POINT DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 2500	7394.62	7011.57	TP 2500 SET NAIL IN BIT N-S DRIVE TO MMCC DOAN BLDG. 6" W. OF E. EDGE BIT, 220± S. OF BROADWAY.
TP 2501	7511.07	7626.90	TP 2501 SET 1/2" ROD WITH "ROWE TRAVERSE CAP 150± S. OF "Y" BROADWAY & SUMMERTON, 128± SSW OF SCOR., 20± W. BOC SUMMERTON RD.
TP 20206	7238.07	6759.68	TP 20206 SET 1/2" ROD WITH "ROWE TRAVERSE CAP 24± NNW OF NW CORNER OF W. PARKING LOT, IN LINE WITH N. EDGE OF GRASS ISLANDS TO E.
TP 20182	7388.98	7315.48	TP 20182 SET 1/2" ROD WITH "ROWE TRAVERSE CAP 4.5" NE OF EDGE OF RADIUS, 120± NNW OF BM 2705 (FIRE HYDRANT)

**SECTION CORNER DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
CCOR 2600	7681.19	4982.41	INTERIOR 1/4 CORNER, SECTION 13, UNION TWP., ISABELLA CO.
CCOR 2601	7708.44	3668.53	W 1/4 CORNER, SECTION 18, CHIPPEWA TWP., ISABELLA CO.
CCOR 2602	7632.11	7668.91	E 1/4 CORNER, SECTION 13, UNION TWP., ISABELLA CO.
CCOR 2603	4999.85	7685.66	SE CORNER, SECTION 13, UNION TWP., ISABELLA CO.

**STRUCTURE INVENTORY**

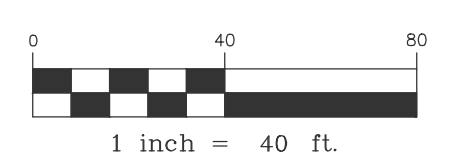
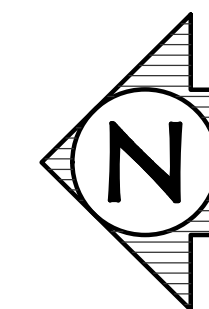
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 COVER: SOLID  
 RM= 761.70  
 12" RCP SE INV.=756.75  
 12" RCP W INV.=756.75

MH# 240  
 TYPE: STORM  
 COVER: BEEHIVE  
 RM= 762.31  
 12" RCP E INV.=757.96

MH# 326  
 TYPE: STORM  
 COVER: SOLID  
 RM= 762.12  
 12" RCP W INV.=757.32  
 8" PVC S INV.=757.22  
 12" RCP E INV.=757.12

**CONSTRUCTION NOTES**

- (D1)** INSTALL 2" DIA. CATCHBASIN WITH 2" SUMP PER DETAIL ON SHEET C-200.
- (D2)** INSTALL 4" DIA. CATCHBASIN WITH NO SUMP PER DETAIL ON SHEET C-200. CONTRACTOR SHALL SALVAGE (3) STRUCTURES FROM PREVIOUS CONSTRUCTION PHASE ON THIS PROPERTY.
- (D3)** INSTALL 12" RCP CL. IV STORM SEWER.
- (D4)** INSTALL M.D.O.T. TYPE 'N' COVER IN PLACE OF SOLID COVER.
- (D5)** GRADE SWALE AT 0.5% AROUND BUILDING.
- (D6)** INSTALL 12" END SECTION WITH RODENT GRATE. PLACE 5 SYD. OF PLAIN RIP-RAP ON NON-WOVEN GEOTEXTILE FABRIC AT OUTLET.
- (D7)** INSTALL 10" ROOF DRAIN.
- (D8)** INSTALL 4" FOOTING DRAINS
- (D9)** INSTALL 3.3" RESTRICTOR AS PER GRAFICE DETAIL ON SHEET C-200.



**LEGEND**

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED BUILDING
- PROPOSED AGGREGATE
- FS FINISHED SURFACE
- TW TOP OF WALK
- INV INVERT
- LP LOW POINT
- HP HIGH POINT
- SB BOTTOM OF SWALE
- 770- EX. CONTOURS
- 770- PROPOSED CONTOURS

**SOIL EROSION CONTROL MEASURES**

SEE SHEET C-800 FOR NOTES, SCHEDULE AND EXPLANATION OF CONTROL MEASURES. ALL MEASURES LISTED ON THIS SHEET ARE TO BE USED IN AREAS THAT APPLY.

- 1** STRIPPING AND STOCKPILING TOPSOIL
- 6** SEEDING WITH MULCH - APPLIES TO ALL DISTURBED AREAS
- 13** RIP-RAP
- 36** CATCHBASIN WITH FILTER CLOTH
- 54** PERIMETER SILT FENCE

**PROPOSED STORM STRUCTURES**

- CB-01**  
 PROPOSED 2" DIA. DRAINAGE STRUCTURE  
 RIM 761.72  
 E.I.W. TYPE 6508 DITCH GRATE  
 INV. 12" W = 758.72
- CB-02**  
 PROPOSED 4" DIA. DRAINAGE STRUCTURE  
 RIM 761.61  
 E.I.W. TYPE 1040-N COVER  
 INV. 12" E & N = 758.61
- CB-03**  
 PROPOSED 4" DIA. DRAINAGE STRUCTURE  
 RIM 761.50  
 E.I.W. TYPE 1040-N COVER  
 INV. 12" S & N = 758.48
- CB-04**  
 PROPOSED 4" DIA. DRAINAGE STRUCTURE  
 RIM 761.50  
 E.I.W. TYPE 1040-N COVER  
 INV. 12" S & E = 758.35  
 INV. 4" E = 758.75
- CB-05**  
 PROPOSED 4" DIA. DRAINAGE STRUCTURE  
 RIM 761.55  
 E.I.W. TYPE V-3600 COVER  
 INV. 12" W & NE = 758.23  
 INV. 10" SW = 758.23
- CB-06**  
 PROPOSED 4" DIA. DRAINAGE STRUCTURE  
 RIM 762.50  
 E.I.W. TYPE 1040-N COVER  
 MATCH EXISTING INV.  
 12" E & W = 756.9±  
 WITH 3.3" RESTRICTOR  
 IN 12" S

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GRADING

12-718

C-400



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PROJECT



CONSULTANT

SITE PLAN

SHEET TITLE

12-718

PROJECT NUMBER

C-500

SHEET NUMBER

**CONSTRUCTION NOTES**

- (N1) CONSTRUCT ASPHALT SECTION PER TYPICAL PARKING LOT CROSS SECTION ON SHEET C-200. BASE COURSE TO BE LAID IN 2013, TOP COURSE TO BE LAID IN 2014.
- (N2) CONSTRUCT ASPHALT SECTION PER TRUCK ROUTE CROSS SECTION ON SHEET C-200. BASE COURSE TO BE LAID IN 2013, TOP COURSE TO BE LAID IN 2014.
- (N3) CONSTRUCT TYPICAL SIDEWALK PER DETAIL ON SHEET C-300.
- (N4) INSTALL SIDEWALK RAMP AND DETECTABLE WARNING PER MDOT STANDARD DETAIL R-28-CURRENT SERIES.
- (N5) CONSTRUCT THICKENED EDGE CONCRETE SIDEWALK PER DETAIL ON SHEET C-300.
- (N6) CONSTRUCT REINFORCED CONCRETE PAVEMENT PER REINFORCED CONCRETE PAVEMENT DETAIL ON SHEET C-200.
- (P1) PLACE REGULAR DRY PAVEMENT MARKING - YELLOW
- (P2) PLACE REGULAR DRY PAVEMENT MARKING - BLUE
- (P3) PLACE HANDICAP SYMBOL.
- (P4) PLACE VAN ACCESSIBLE HANDICAP SIGN ON POST ON PORTABLE CONCRETE BASE.
- (P5) PLACE STOP SIGN ON POST.
- (R1) REMOVE EXISTING TREE.
- (R2) REMOVE EXISTING FENCE.
- (R3) RELOCATE EXISTING STOP SIGN.
- (R4) LIMITS OF BRUSH AND TREE CLEARING.
- (S1) INSTALL 8" PVC SDR 35 SANITARY SEWER AND CLEANOUTS AS PER DETAIL ON SHEET C-100.
- (S2) CORE DRILL AND CONNECT PROPOSED SANITARY SEWER TO EXISTING MANHOLE. CONTRACTOR SHALL CONTACT UNION TOWNSHIP A MINIMUM OF 24 HOURS BEFORE MAKING CONNECTION. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL PERMIT AND TAP FEES.
- (W1) CONNECT PROPOSED 8" WATER MAIN TO EXISTING 8" WATER MAIN WITH TAPPING SLEEVE AND VALVE. NO CONNECTION SHALL BE MADE UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM UNION TOWNSHIP. UNION TOWNSHIP SHALL BE NOTIFIED OF CONNECTION A MINIMUM OF 24 HOURS PRIOR TO CONNECTION. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL PERMIT AND TAP FEES.
- (W2) INSTALL 8" PVC C900 WATERMAIN, SEE SHEET C-700 FOR PROFILE.
- (W3) INSTALL 8" 45° BEND.
- (W4) INSTALL FIRE HYDRANT ASSEMBLY PER UNION TOWNSHIP STANDARDS.
- (W5) INSTALL 8"x8", 8" GATE VALVE AND 8" WATER AND FIRE SERVICE.
- (W6) BORE AND JACK WATERMAIN UNDER EXISTING PARKING LOT PER DETAIL ON SHEET C-300.
- (W7) 5'x5' CONC. PAD IN FRONT OF FIRE DEPARTMENT CONNECTION, SLOPE AWAY FROM BUILDING.
- (W8) INSTALL 8" GATE VALVE AND BOX.
- (W9) INSTALL 8" PLUG.

**LEGAL DESCRIPTION:**

Part of the East One-half of the Southeast One-quarter of Section 13, T14N, R4W, Union Township, Isabella County, State of Michigan described as: Beginning at the East One-quarter Corner of said Section 13; thence N 88° 57' 50" W, along the East-West One-quarter line, 264.00 feet; thence S 00° 22' 03" E, parallel to the East Section line, 165.00 feet; thence N 88° 57' 50" W, parallel to said East-West One-quarter line, 132.00 feet; thence N 00° 22' 03" W, parallel to said East Section line, 165.00 feet to the East-West One-quarter line; thence N 88° 57' 50" W, along said East-West One-quarter line, 500.44 feet; thence S 00° 33' 46" E, 330.00 feet; thence N 88° 57' 50" W, parallel to said East-West One-quarter line, 447.00 feet to the East One-eighth line; thence S 00° 33' 41" E, along said East One-eighth line, 1336.11 feet; thence N 89° 37' 57" E, 1337.40 feet to the East Section line; thence N 00° 22' 03" W, along said East Section line, 179.98 feet; thence N 88° 54' 19" W, parallel to the South One-eighth line, 159.00 feet; thence N 00° 22' 03" W, parallel to said East Section line, 137.00 feet to the South One-eighth line; thence N 88° 54' 19" W, along said South One-eighth line, 171.00 feet; thence N 00° 22' 03" W, parallel to said East Section line, 264.00 feet; thence S 88° 54' 19" E, parallel to said South One-eighth line, 330.00 feet to the East Section line; thence N 00° 22' 03" W, along said East Section line, 1052.22 feet back to the place of beginning. This property is subject to an easement for the installation and maintenance of public utilities within the right-of-way of Broadway Road and Summerton Road. Containing 44.4 acres and being subject to restrictions, reservations, easements, rights-of-way, zoning, governmental regulations, and matters visible, if any, upon or affecting said lands.

**STRUCTURE INVENTORY**

MH# 404  
 TYPE: SANITARY  
 COVER: SOLID  
 RIM= 763.16  
 8" PVC NE INV.=753.31  
 8" PVC SW INV.=753.21  
 8" PVC ENE INV. 756.5

**LEGEND**

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED BUILDING
- PROPOSED AGGREGATE

ZONING: B-4 GENERAL BUSINESS

**OWNER:**  
 MID MICHIGAN COMMUNITY COLLEGE  
 1375 S. CLARE AVE.  
 HARRISON, MI 48825  
 ATTN - BILL WHITMAN

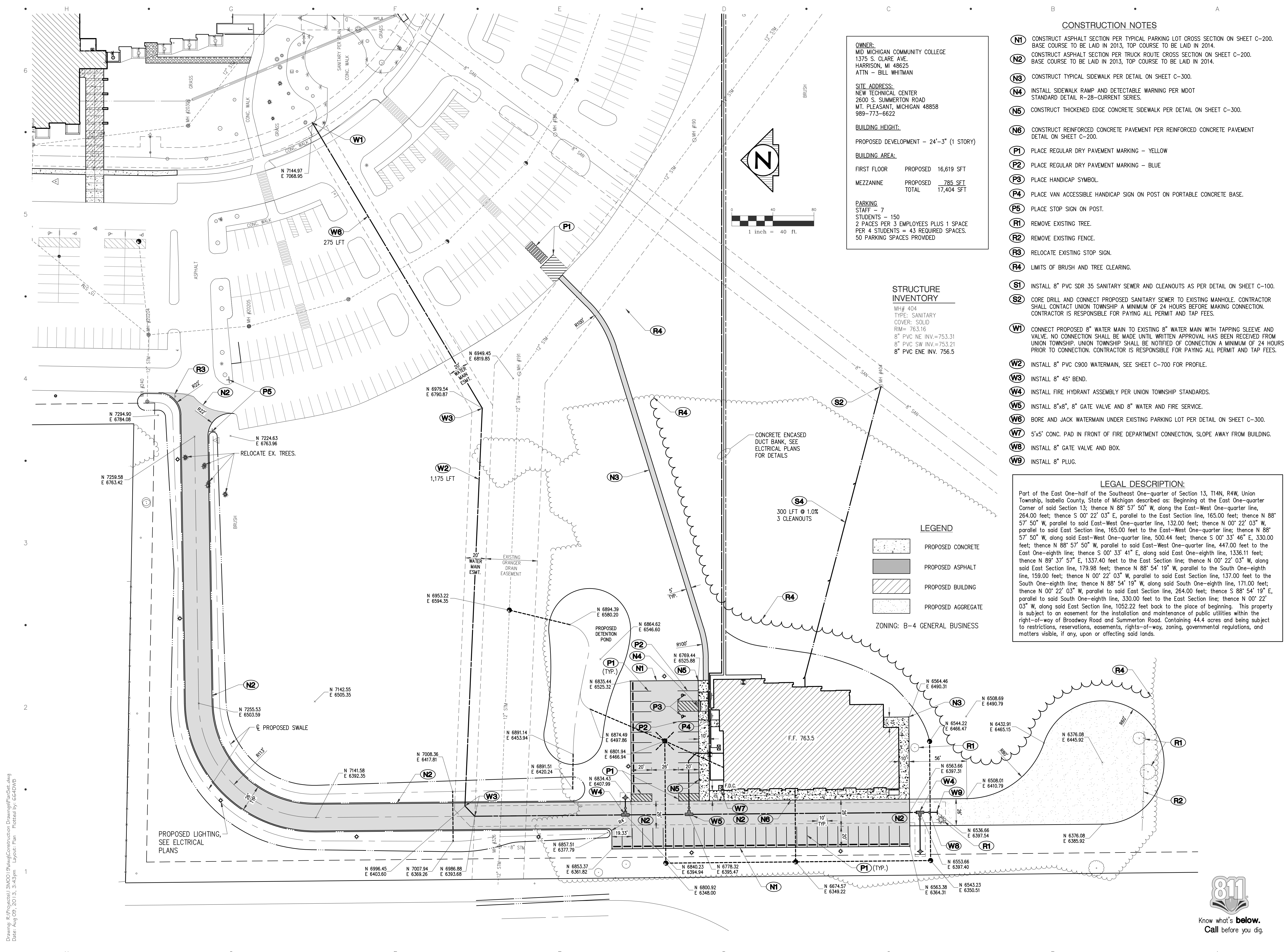
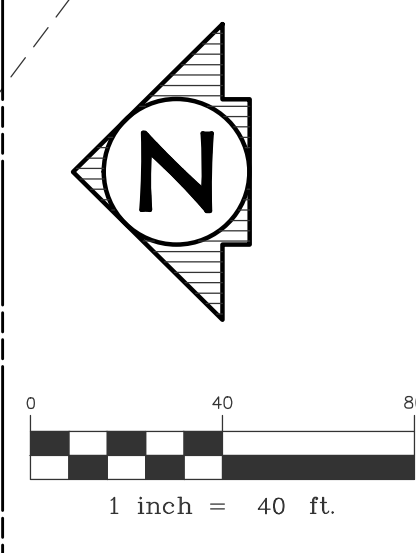
**SITE ADDRESS:**  
 NEW TECHNICAL CENTER  
 2600 S. SUMMERTON ROAD  
 MT. PLEASANT, MICHIGAN 48858  
 989-773-6622

**BUILDING HEIGHT:**  
 PROPOSED DEVELOPMENT - 24'-3" (1 STORY)

**BUILDING AREA:**

FIRST FLOOR	PROPOSED	16,619 SFT
MEZZANINE	PROPOSED	785 SFT
	TOTAL	17,404 SFT

**PARKING:**  
 STAFF - 7  
 STUDENTS - 150  
 2 PACES PER 3 EMPLOYEES PLUS 1 SPACE  
 PER 4 STUDENTS = 43 REQUIRED SPACES.  
 50 PARKING SPACES PROVIDED



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CONSULTANT

WATERMAIN  
 PROFILE

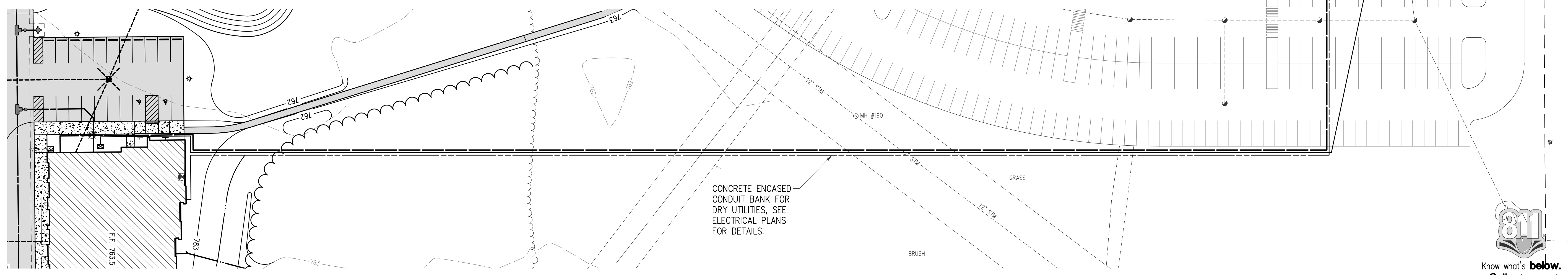
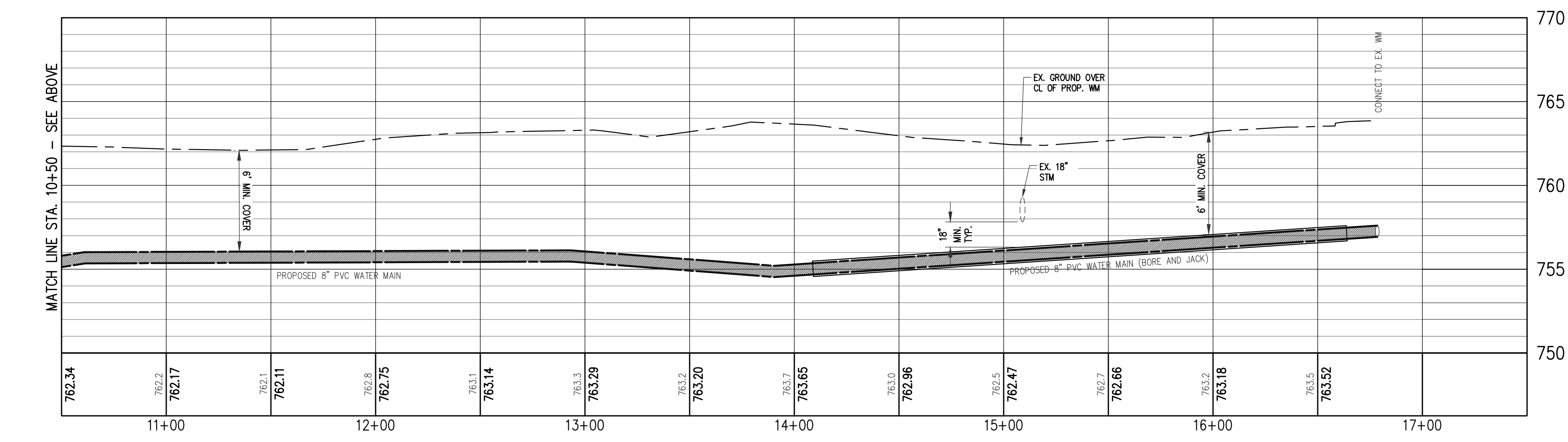
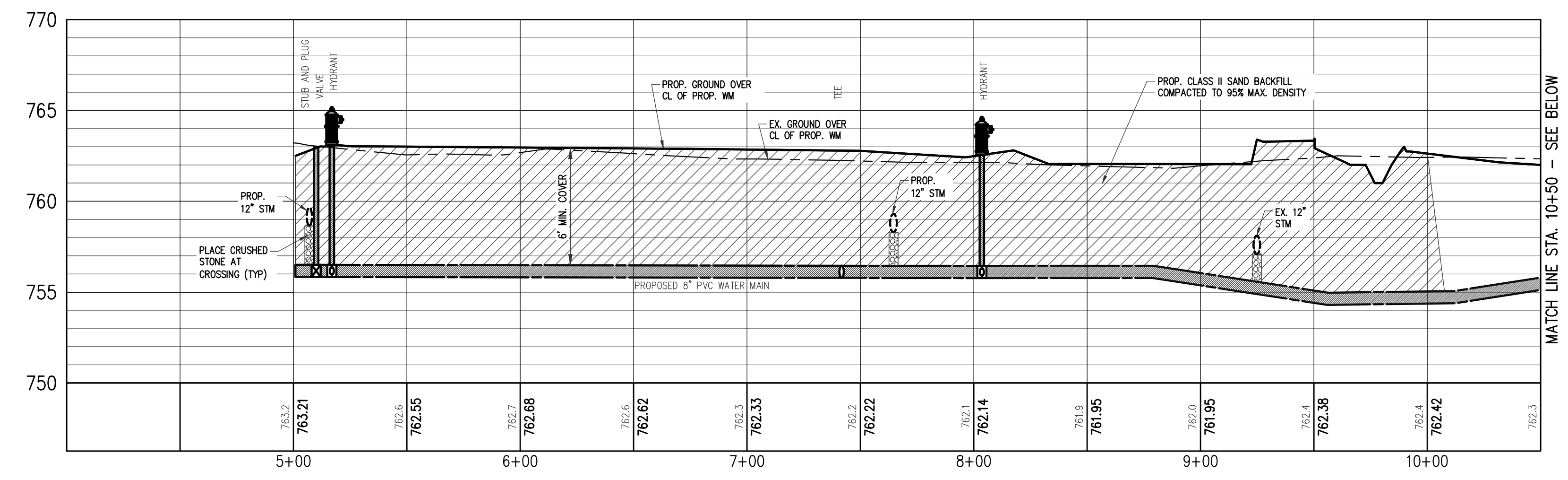
SHEET TITLE

12-718

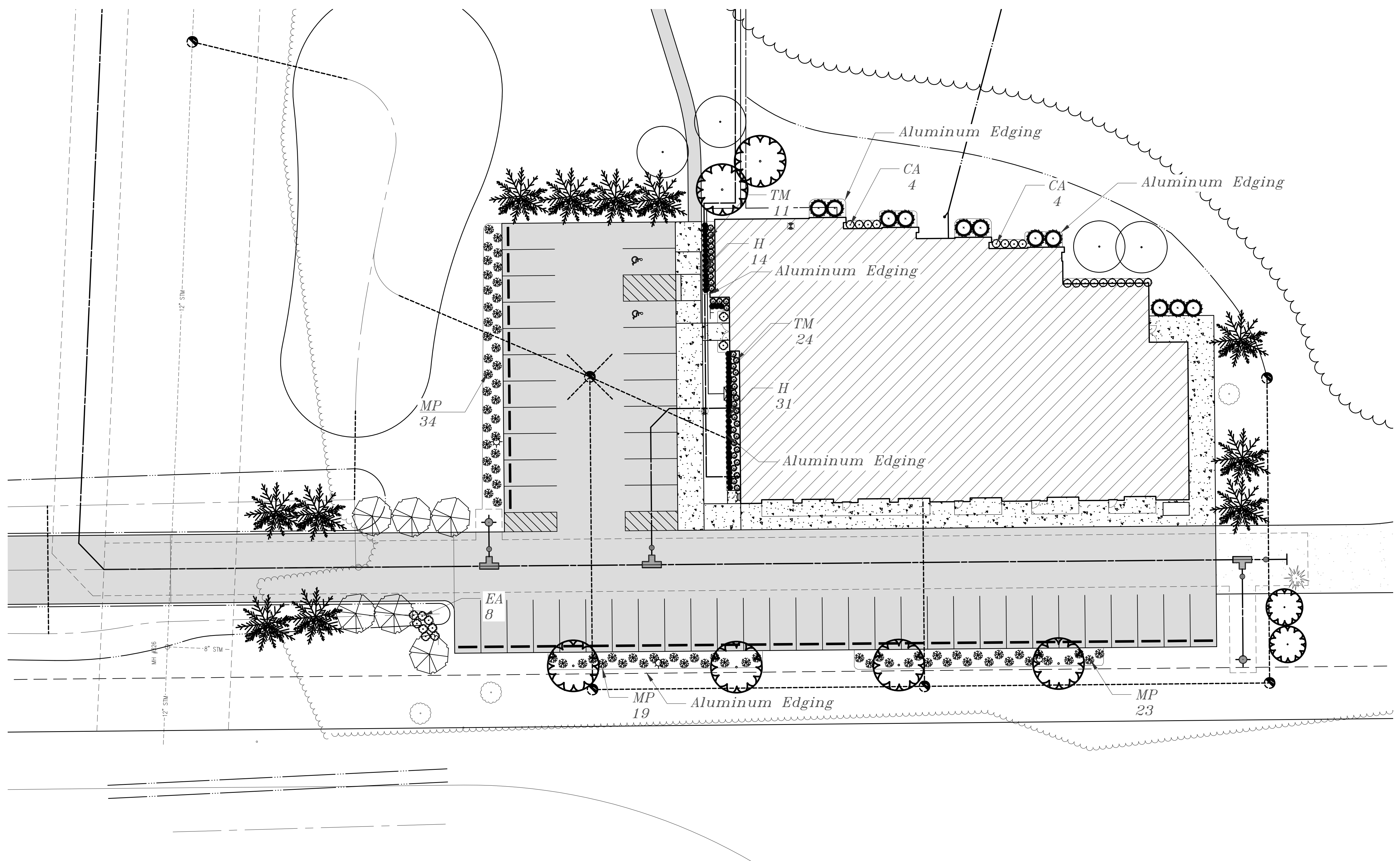
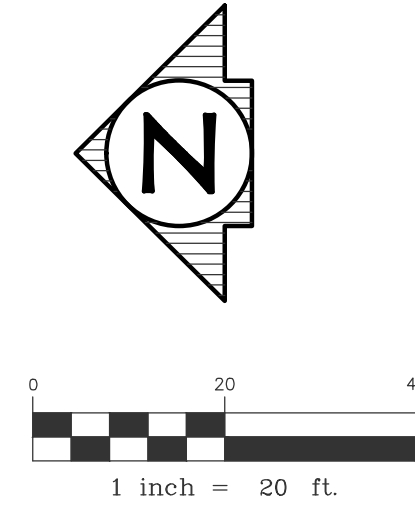
PROJECT NUMBER

C-600

SHEET NUMBER



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**TREE SCHEDULE**

SYM	KEY	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
B	8	2" CALIPER	BETULA PAPERIFERA 'SELECT'	PAPER BIRCH	B & B	
C	4	2 1/2" CALIPER	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	
J	11	6"	JUNIPERUS CHINENSIS 'HETZLI COLUMNARIS'	GREEN COLUMNAR JUNIPER	B & B	
M	6	2" CALIPER	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	B & B	
P	11	6"	PICEA GLAUCA	WHITE SPRUCE	B & B	

**PLANT SCHEDULE**

SYM	KEY	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
EA	18	36"	EUONYMUS ALATA 'COMPACTA'	COMPACT BURNINGBUSH	B & B	
CA	8	CLUMP	CALIMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	NO. 2 CONT.	
H	33	CLUMP	HOSTA 'ABIQUA MOONBEAM'	ABIQUA MOONBEAM HOSTA	NO. 2 CONT.	
MP	76	36"	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	NO. 5 CONT.	
TM	48	24"	TAXUS X MEDIA 'CHADWICK'	CHADWICK YEWS	B & B	



DATE ISSUED  
 DRAWN BY  
**DWB**  
 CHECKED BY  
**SAT**

**HOBBS + BLACK**  
**ARCHITECTS**  
 117 E. Allegan Street  
 Lansing, MI 48933  
 P: 517 484 4870  
 www.hobbs-black.com

**Mid Michigan**  
**Community College**  
 NEW TECH CENTER  
 MOUNT PLEASANT CAMPUS

**ROWE PROFESSIONAL**  
**SERVICES COMPANY**  
 127 S. Main Street  
 Mt. Pleasant, MI 48858  
 O: (989) 772-2138  
 F: (989) 773-7757

LANDSCAPE PLAN

SHEET TITLE

12-718

PROJECT NUMBER

C-700

SHEET NUMBER

REFERENCE ONLY - NOT IN CONTRACT

Drawing: R:\Projects\13\WOOD\9\Wood\Construction\Drawings\PlanSet.dwg  
 Date: Aug 09, 2013, 3:43pm Layout: Landscaping Plotted by: GCD/DWB



## Union Township Site Plan Review Application

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name JBS Contracting, Inc
- III. Applicant Address 70 Box 370 Mt. Pleasant, MI 48858
- IV. Applicant Phone 989-773-0770 Owner Jim Kremsreiter
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip 5& 6)  
Other
- VI. Land Owner Name Rat Jarmen
- VII. Land Owner Address 2362 Parkway Dr. Mt. Pleasant MI 48858
- VIII. Project/Business Name Air plane Hangar
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area (for example, under sidewalks write "none" in the comment area if you are not installing any sidewalks). For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	√ Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer  <i>need</i>		Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.		MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies. <i>need, <del>new drive</del> new drive</i>
Mt. Pleasant Fire Dept. <i>need</i>		Sgt Rick Beltnick (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)		Denny Adams (989) 773 2913 Ext 106, (2) copies
SITE PLAN REQUIREMENTS	√ Off	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of <u>Property Owner</u> Name and Address of <u>Applicant</u>	√	OK
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)		<i>assume IVb un-sprinkled</i>
The <u>date</u> , <u>north arrow</u> and <u>scale</u> . The scale shall be not less than 1"=20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	√	OK

## Union Township Site Plan Review Application

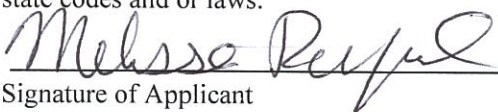
All lot and/or <u>property lines</u> are to be shown and dimensioned, including building <u>setback lines</u>	N/A	Setbacks are ok - 50' from Row
The <b>location and dimensions</b> of all existing and proposed: <u>fire hydrants</u> (within 400 feet of building) - - - - <u>drives</u> , - - - - - <u>sidewalks</u> , (required) - - - - - <u>curb openings</u> , - - - - - <u>acceleration/deceleration lanes</u> , - - - - - <u>signs</u> , - - - - - <u>exterior lighting</u> on buildings and parking lots, - - <u>parking areas</u> (Including handicapped parking spaces, barrier-free building access, unloading areas), - - - - - <u>recreation areas</u> , - - - - - <u>common use areas</u> , - - - - - areas to be conveyed for <u>public use and purpose</u> . -	N/A ✓ N/A ✓ N/A ✓ ✓ ✓ ✓ ✓ N/A ✓ ✓	Need: - need waiver by PL BCR merge
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	ok Note Column not Greater than 35' high (26' plus Crown)
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department (773 5921)
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)		
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	
The zoning of the subject property and the abutting properties.		
The location, height and type of fences and walls.	✓	

## Union Township Site Plan Review Application

The location and detailed description of landscaping.	N/A	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N/A	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	N/A	

COMMENTS


I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

  
 \_\_\_\_\_  
 Signature of Applicant

8/7/13  
 \_\_\_\_\_  
 Date

\_\_\_\_\_  
Signature of Owner (if other than applicant)

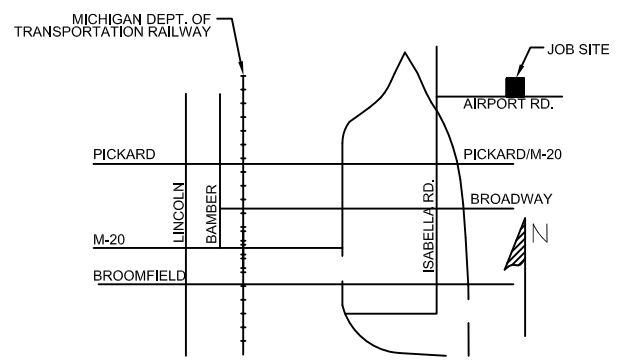
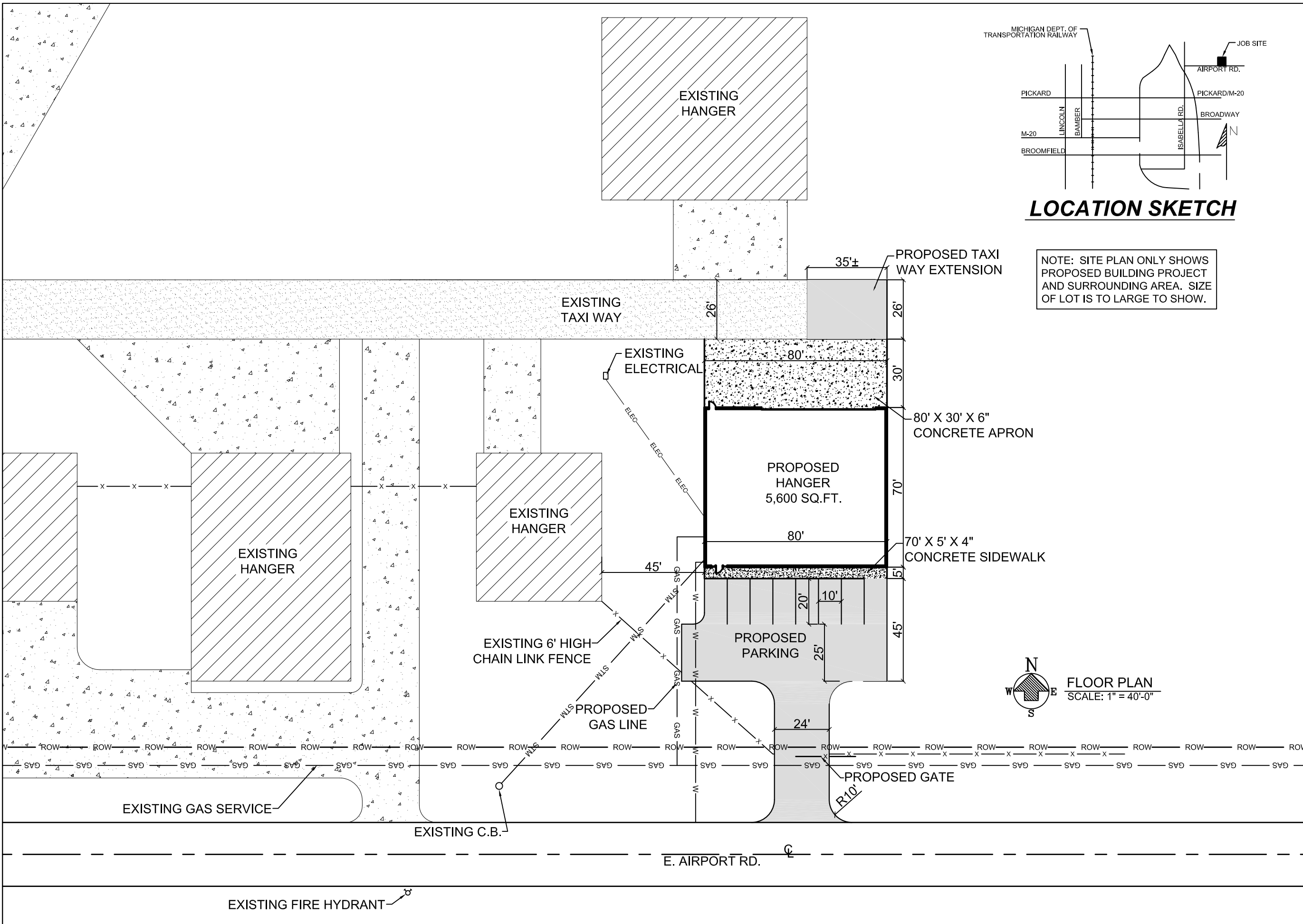
\_\_\_\_\_  
Date

PLEASE PLACE OUR REVIEW ON THE August 20, 2013 (INSERT DATE) PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

## Union Township Site Plan Review Application

<u>Township use</u>	Comments <u>OK plan pending</u>
File # _____	<u>Storm water permit, MPFD</u>
Fee Paid initial _____	<u>and ICRC approvals</u>
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	
_____	





**LOCATION SKETCH**

NOTE: SITE PLAN ONLY SHOWS PROPOSED BUILDING PROJECT AND SURROUNDING AREA. SIZE OF LOT IS TOO LARGE TO SHOW.



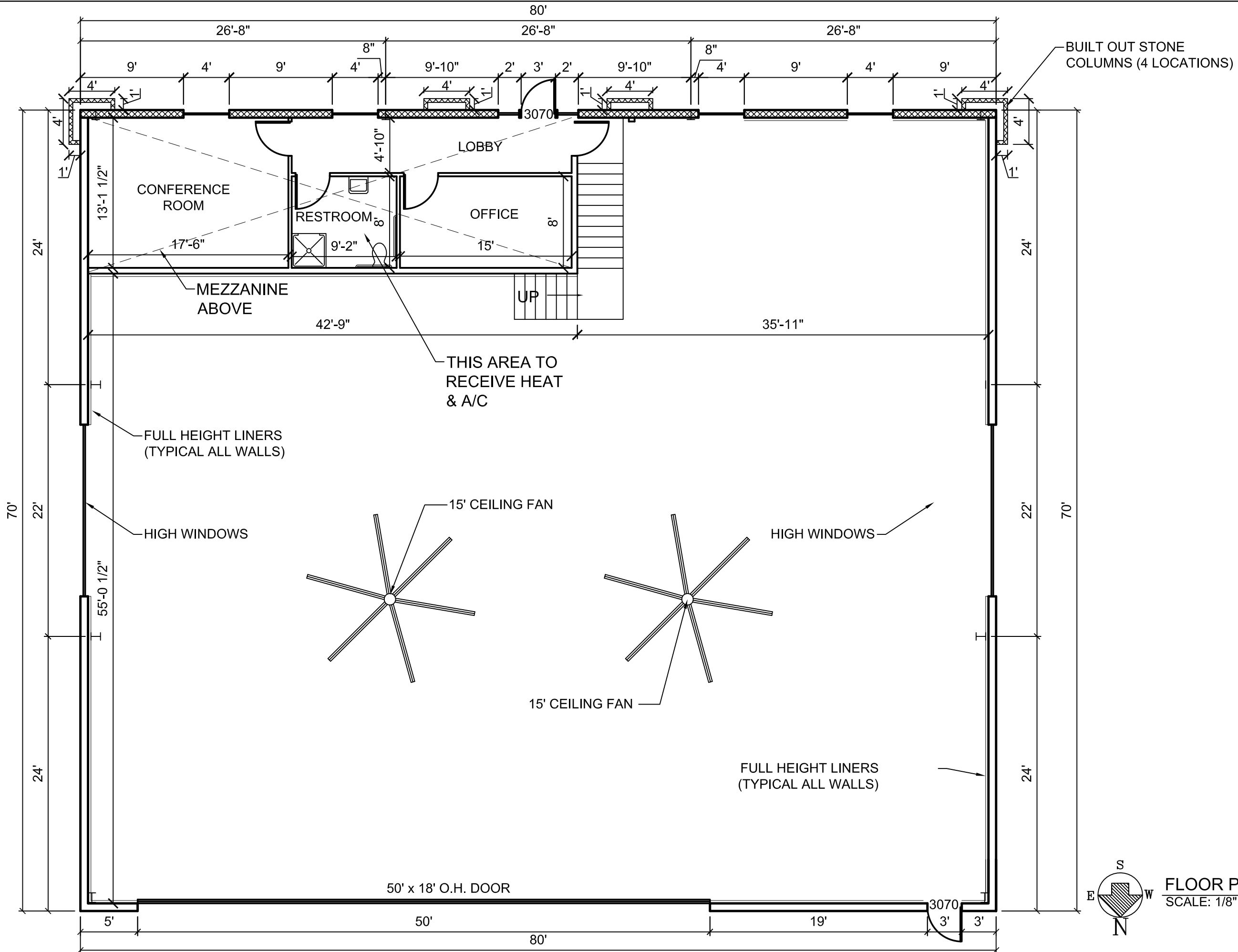
**JBS Contracting Inc.**  
 COMMERCIAL/INDUSTRIAL CONSTRUCTION  
 1680 COVER PARKWAY  
 MT. PLEASANT, MI 48858  
 PH: (989) 775-0770  
 FAX: (989) 772-9272

REVISIONS	
NO.	DATE
1	
2	
3	
4	
5	
7	
8	

**PAT JARMEN**  
**HANGER BUILDING**  
**MT. PLEASANT AIRPORT**  
 SITE PLAN

SCALE: 1" = 40'-0"  
 DRAWN BY: MLR  
 CHECKED BY:

JBS JOB #:  
**C1**

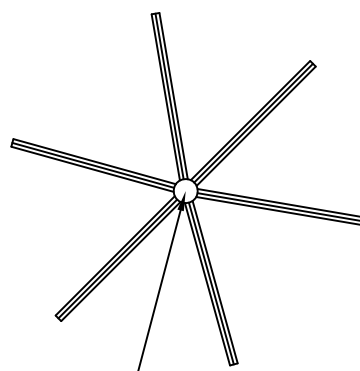
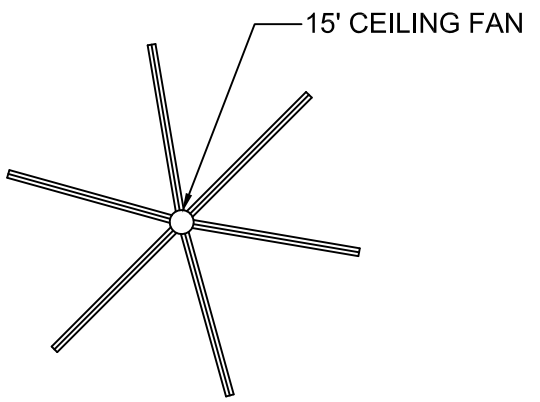


BUILT OUT STONE COLUMNS (4 LOCATIONS)

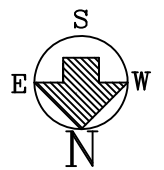
THIS AREA TO RECEIVE HEAT & A/C

FULL HEIGHT LINERS (TYPICAL ALL WALLS)

HIGH WINDOWS



FULL HEIGHT LINERS (TYPICAL ALL WALLS)



**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

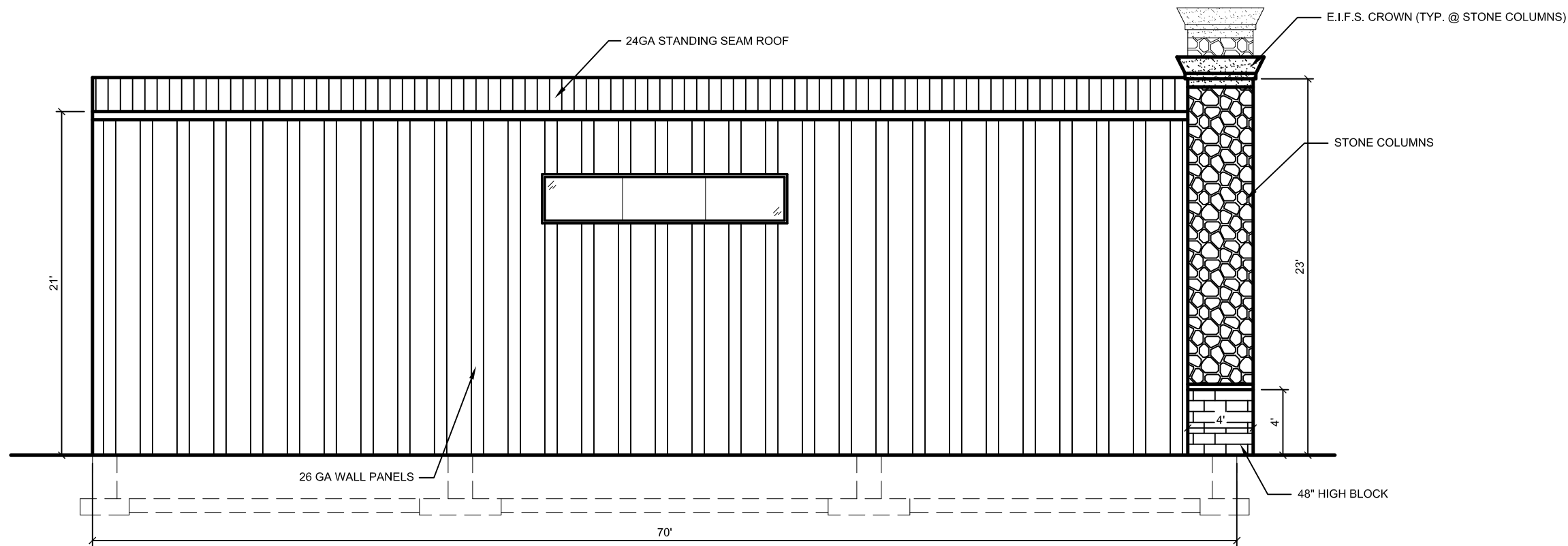
REVISIONS	
NO.	DATE
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PAT JARMEN  
HANGER BUILDING  
MT. PLEASANT AIRPORT  
FLOOR PLAN

SCALE: 1/8" = 1'-0"  
DRAWN BY: MLR  
CHECKED BY:

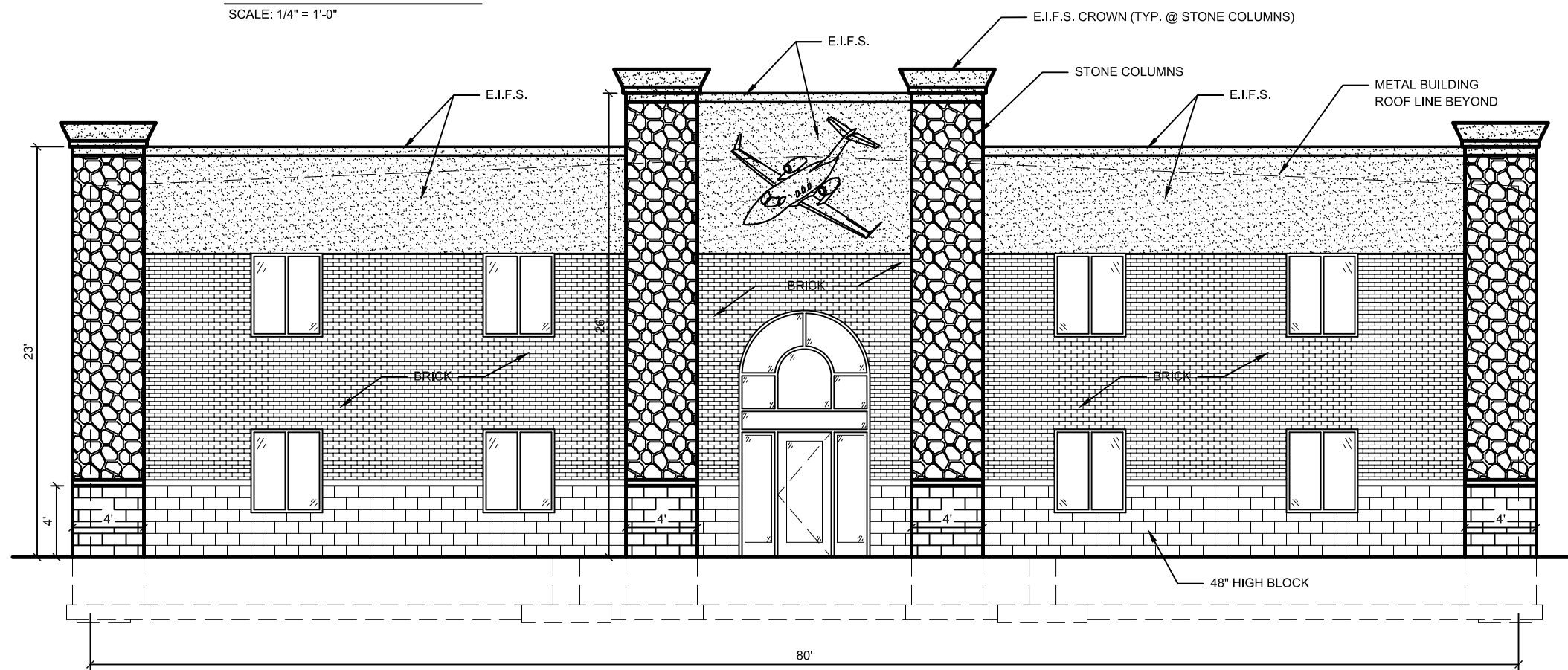
JBS JOB #:  
**A1**

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FAX: (989) 772-9272



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	ISSUED FOR
1		
2		
3		
4		
5		
7		
8		

PAT JARMEN  
HANGER BUILDING  
MT. PLEASANT AIRPORT

ELEVATIONS

SCALE: 1/8" = 1'-0"

DRAWN BY: MLR

CHECKED BY:

JBS JOB #:

**A2**

**JBS Contracting Inc.**  
COMMERCIAL/INDUSTRIAL  
CONSTRUCTION  
1680 COVER PARKWAY  
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E.I.F.S. CROWN (TYP. @ STONE COLUMNS)

STONE COLUMNS

23'

4'

48" HIGH BLOCK

24GA STANDING SEAM ROOF



26 GA WALL PANELS

21'

70'

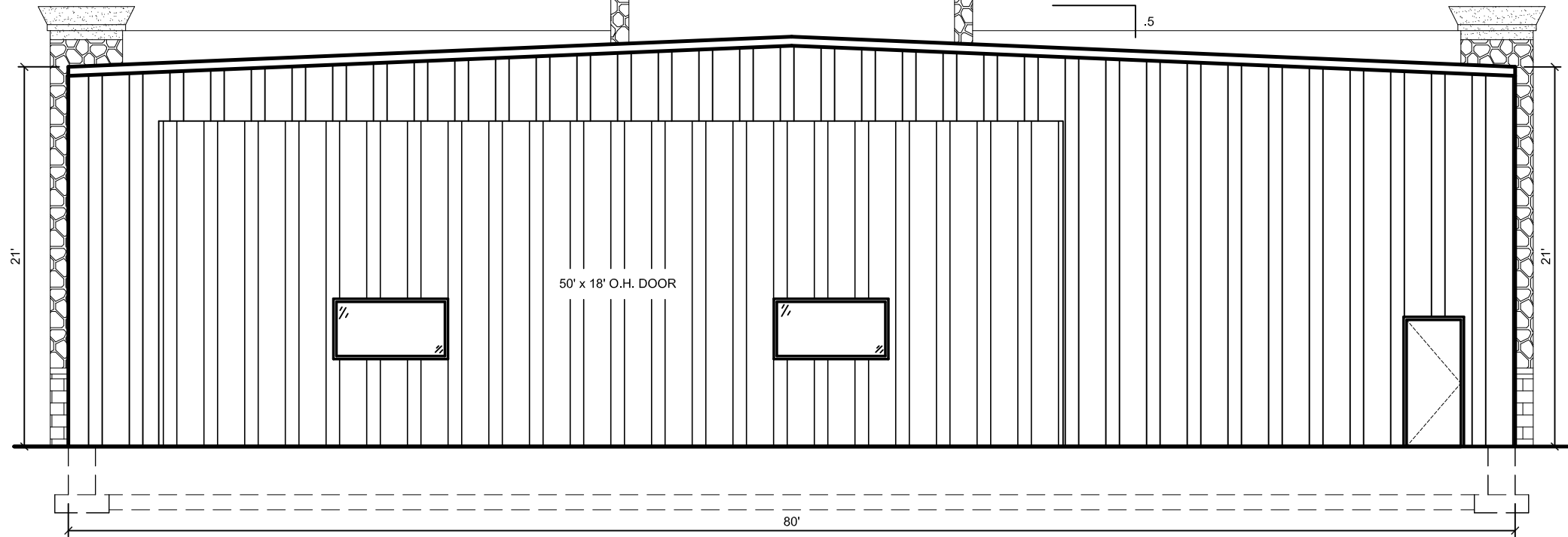
### EAST ELEVATION

SCALE: 1/4" = 1'-0"

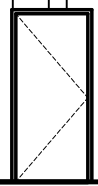
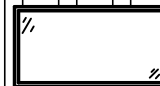
PARAPET WALL & COLUMNS BEYOND

12

.5



50' x 18' O.H. DOOR



80'

### NORTH ELEVATION

SCALE: 1/4" = 1'-0"

#### REVISIONS

ISSUED FOR

NO. DATE

1

2

3

4

5

7

8

PAT JARMEN  
HANGER BUILDING  
MT. PLEASANT AIRPORT

ELEVATIONS

SCALE: 1/8" = 1'-0"

DRAWN BY: MLR

CHECKED BY:

JBS JOB #:

# A3

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